



CLONGRIFFIN BLOCKS 5 & 6

Architectural Design Statement

Proposed Development on behalf of Land Development Agency.

August 2024



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ARCHITECTS & URBAN DESIGNERS

Document No. CLN-CCK-LRD-ZZ-XX-RP-A-000010

INTRODUCTION

This Architectural Design Statement has been prepared by Conroy Crowe Kelly Architects as part of a planning application submission for a proposed new residential development located at Blocks 5 and 6, Clongriffin, Dublin 13.

This Design Statement is prepared in accordance with the Dublin City Development Plan 2022 - 2028, and provides details of the site analysis, the design concept, compliance with the 12 criteria described by the Urban Design Manual - A Best Practice Guide (Department of Environment, Heritage and Local Government 2009), and compliance with relevant national and local design criteria and development standards. The design also has regard to the Clongriffin Belmayne LAP 2012 - 2018 (extended to December 2022) which no longer has statutory force, but, pending replacement, remains the last and most relevant expression of local area planning policy. For this reason, the relevant policies in the LAP are described, and consistency is shown. The scheme has been designed by a multi disciplinary team and consideration has been given to delivering a sustainable, efficient and attractive neighbourhood to the highest standards.

Dublin City Council issued its LRD Opinion following the consultation meeting. DBCL has prepared a comprehensive Statement of Response to the DCC LRD Opinion outlining where the design response to the items raised in the LRD Opinion can be found in the design team's submitted documents.

Development Team

Developer:	Land Development Agency
Architect:	Conroy Crowe Kelly Architects
Planning Consultant:	Declan Brassil Planning Consultants
Environmental Consultant:	TMS Environmental Ltd.
Landscape Architect:	Ronan MacDiarmada and Associates Landscape Architects
Civil/Structural Engineer:	CS Consulting Engineers
M&E Engineer & Sustainability:	Delap & Waller Ltd.
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Ecologist:	Openfield
Noise Consultant:	DKP International
CGIs / Verified Views:	Digital Dimensions
Archaeology:	Courtney Deery Heritage Consultancy Ltd.

Disclaimer

The diagrams and images presented in this report are intended for illustrative purposes only. For more detailed information, please consult the accompanying drawing package and particulars.



Figure 0.1 - Aerial view of the site looking south from Belltree Avenue (December 2023)

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EXECUTIVE SUMMARY

Clongriffin lies approximately 9km to the northeast of Dublin City Centre adjacent the City Council's boundary with Fingal County Council. Located between Dublin Airport and the M1/M50 to the northwest/west and the coast in the east. The LDA Clongriffin Lands are bordered by multiple existing residential developments to the south (Beau Park) and west (Belltree). The lands are bordered to the north by the Mayne river and to the east by the DART railway line.

The site area is c. 2.2Ha and the project comprises 2 no. apartment blocks (Block 5 and Block 6) and one landscaped pocket park (called Grant Park). The scope of this planning application comprises the whole site including all associated infrastructure and public realms.

The buildings comprise two urban blocks, Block 5 and Block 6. In each block, off-street cars are parked at grade with landscaped podium over. At ground floor within the car park are also bin stores, bike stores and plant rooms.

Block 5:

- Perimeter urban block, 3 to 6 storeys high.
- 138 apartments served by 4 no. cores comprising 58 no. 1-Bedroom, 78 no. 2-Bedroom apartments and 2 no. 3-Bedroom apartments.
- 35 no. Universal Design friendly apartments
- Landscaped podium communal amenity space of 736 sqm at first floor with car park and ancillary stores at ground level under.
- 4th floor roof terrace communal amenity space of 143 sqm.
- 1 no. integrated ESB substation and associated switchroom.
- Community, Arts and Cultural Space at ground floor along Market Street with internal area of 502 sqm and the opportunity to spill out onto Market Street for connected events.
- 79 car parking spaces with 34 on-street spaces and 45 off-street spaces.
- 40 of the off-street spaces will be equipped for EV charging
- 1 no. loading bay at Lake Street
- 25% UD Units

Block 6:

- Perimeter urban block, 4 to 7 storeys high.
- 270 apartments served by 5 no. cores comprising 122 no. 1-Bedroom and 148 no. 2-Bedroom apartments
- 80 no. Universal Design friendly apartments
- Landscaped podium communal amenity space of 2678 sqm at first floor with car park and ancillary stores at ground level under.
- 2 no. integrated ESB substations and associated switchrooms.
- Community, Arts and Cultural Space with area of 707 sqm at ground floor to Dargan Street
- Creche on the corner of Park Street and Belltree Avenue with area of 413 sqm, and external play space of 125 sqm and capacity for 99 children.
- 181 car parking spaces with 63 on-street spaces and 118 off-street spaces.
- 90 of the off-street spaces will be equipped for EV charging
- 1 no. loading bay at Dargan Street
- 30% UD Units

External Works:

- All underground services and utility connections
- All internal roads, kerbs, footpaths, hard and soft landscaping, public lighting, bicycle stands, car spaces, street trees.
- Landscaped park with area of 1433 sqm (Grant Park)

	1-Bed	2-Bed	3-Bed	Total
Block 5	58	78	2	138
Block 6	122	148	0	270
Total	180	226	2	408

Figure 0.1 - Summary of Accommodation



Figure 0.2 - Proposed site layout

Application Overview



Key Stats

No. of Blocks:	2
Site Area:	2.213 ha
Total Residential Units Proposed:	408 nr.
Density Proposed:	184 units per hectare
Plot Ratio:	1.98
Site Coverage:	54.5%
Net Residential Area:	28,764 sqm
Quantum of Public Open Space:	1433 sqm
Quantum of Community, Arts & Cultural:	1209 sqm
Car Parking Spaces:	260
Motorcycle Parking Spaces	13
Bicycle Parking Spaces:	858

Block 5 Overview



Total Residential Units:	138 nr.
Building Height	3 - 6 storeys
Communal Amenity Space Provided:	879 sqm (includes 736sqm at podium level and 143sqm at 4th floor roof)
Communal Amenity Space Required	854 sqm
Parking:	34 spaces on-street 45 spaces off-street
Motorcycle Parking	4 spaces
Cycle Parking:	220 resident bike spaces + 70 visitor spaces
Schedule of accommodation	
1 Bed Units	58
2 Bed Units	78
3 Bed Units	2
Total	138 Units
Community, Arts & Cultural Space	502 sqm

Block 6 Overview



Total Residential Units:	270 nr.
Building Height	4 - 7 storeys
Communal Amenity Space Provided:	2678 sqm (at podium level)
Communal Amenity Space Required	1646 sqm
Parking:	63 spaces on-street 118 spaces off-street
Motorcycle Parking	9 spaces
Cycle Parking:	418 resident bike spaces + 136 visitor spaces + 10 Creche visitor spaces + 4 Creche staff spaces
Schedule of accommodation	
1 Bed Units	122
2 Bed Units	148
Total	270 Units
Community, Arts & Cultural Space	707 sqm
Creche	413 sqm + 125 sqm outdoor play space

SCHEME SUMMARY

Design Evolution

Blocks 5 and 6 both have existing planning permission for a broadly similar design as the subject application. Both permissions were applied for and granted separately but concurrently. Block 5 was granted as an SHD by An Bord Pleanála under planning reg. ref. ABP-305319-19 and Block 6 was granted as an SHD by An Bord Pleanála under planning reg. ref. ABP-305316-19. Both permissions expire in early 2025. The proposed development has been reviewed and amended to ensure consistency with the current Dublin City Development Plan 2022-2028 and Section 28 planning guidance adopted after decisions to grant permissions for the extant SHD permissions for Block 5 and 6. The similarities and differences between the granted design for each block are outlined below and adjacent for ease of reference.

Block 5



Figure 0.3 - View of Block 5 as per approved SHD 2 (ABP-305319-19) from junction of Market Street and Lake Street



Figure 0.4 - Proposed View of Block 5 from junction of Market Street and Lake Street

Similarities with ABP-305319-19

- Block footprint remains the same.
- Total number of residential units remains the same.
- Perimeter building form and heights largely the same except for the north east corner penthouse removal.
- Material palette of brick as primary cladding material to remain. Dark grey coloured brick to be revised to buff coloured brick.
- Public realm design around the building remains largely the same. Market Street shared surface and landscape design similar to granted scheme.
- Parking locations remain largely the same in terms of location. Some revisions to numbers to incorporate accessible spaces and loading bay on street.
- Off street parking under landscaped podium retained. Numbers revised slightly to incorporate motorcycle parking spaces and structural input.
- Communal amenity space at podium level retained.
- Own door access units at ground floor level retained. Layouts revised to incorporate Universal Design friendly units.
- Landscaping approach to defensible space at ground floor level private amenity space retained.

Differences from ABP-305319-19

- Unit mix revised.
- Height reduction at north east corner with removal of 6th floor penthouse level (2 units). Units at 5th floor redesigned to remove set back penthouse for part of eastern elevation extents and retain overall number of units.
- Retail units at ground floor level fronting on to Market Street revised to Community, Arts & Cultural use. 1 no. two bed unit at ground floor level revised to Community, Arts and Cultural use.
- 1st floor residents amenity room revised to one bedroom apartment.
- Increased width of vehicular access to car park.
- Glazed balustrades at balconies revised to metal.
- Universal Design units incorporated into the scheme at 25% provision - 35 units.
- 5% motorcycle spaces added.
- Reduced off street car parking spaces to accommodate changes above.
- Dark grey brick revised to buff coloured brick.
- 4th floor roof terrace reduced in size.
- Visitor bikes locations revised to Sheffield stands on street as per Design Standards for New Apartments 2023.
- Minor changes to plant, bin and bike stores to cater for design revisions above.

Block 6



Figure 0.5 - View of Block 6 as per approved SHD 1 (ABP-305316-19) from junction of Dargan Street and Lake Street



Figure 0.6 - Proposed view of Block 6 from junction of Dargan Street and Lake Street

Similarities with ABP-305319-19

- Block footprint remains the same.
- Total number of residential units remains the same.
- Perimeter building form and heights largely the same except for revised unit layouts at 5th and 6th floor penthouse units to align with floors below. This removes 5th floor penthouse terraces overlooking houses on Park Street and reduces the massing along here.
- Material palette of brick as primary cladding material to remain. Dark grey coloured brick to be revised to red coloured brick.
- Public realm design around the building remains largely the same.
- Parking locations remain largely the same in terms of location. Some revisions to numbers to incorporate accessible spaces and loading bay on street.
- Off street parking under landscaped podium retained. Numbers revised slightly to incorporate motorcycle parking spaces and structural input.
- Communal amenity space at podium level retained.
- Layouts revised to incorporate Universal Design friendly units.
- Landscaping approach to defensible space at ground floor level private amenity space retained.
- Creche retained at same location at junction of Belltree Avenue and Park Street with area of 413 sqm.

Differences from ABP-305319-19

- Unit mix revised.
- Revised unit layouts at 5th and 6th floor penthouse units to align with floors below. This removes 5th floor penthouse terraces overlooking houses on Park Street and reduces the massing along here.
- Build to Rent residents amenity rooms and gym at ground floor level revised to Community, Arts and Cultural space.
- Build to Rent communal amenity roof terraces at 4th, 5th and 6th floor omitted. Podium quantum of communal amenity exceeds required quantum.
- Dark grey brick revised to red coloured brick.
- Universal Design units incorporated into the scheme at 30% provision - 80 units.
- 5% motorcycle spaces added.
- Reduced car spaces to accommodate changes above.
- Visitor bikes locations revised to Sheffield stands on street as per Design Standards for New Apartments 2023.
- 1000mm extra floor to ceiling height in top floors of Blocks 6C & 6D that face the street removed (5 no. units).
- Minor changes to plant, bin and bike stores to cater for design revisions above.

1.0 | SITE LOCATION & DESCRIPTION

Site Overview

The subject sites are located in Clongriffin, Dublin 13. The lands to which this planning application refers are those outlined in red adjacent. These lands extend to 2.2 hectares (5.43 acres) and form the first phase within a larger land parcel within Clongriffin owned by the Land Development Agency (outlined in blue on Site Location Map).

Site Location & Description

The subject sites were named 'Block 5' and 'Block 6' in the original layout for Clongriffin. They are located to the north of Main Street, in Clongriffin, Dublin 13.

Block 5 is a rectangular shaped site of c. 0.70 hectares located adjacent to Belltree Park. It is a greenfield site which will be bounded by Park Street to the west, Market Street to the south, Lake Street to the east and Dargan Street to the north. Belltree Park lies immediately to the west and Block 5 provides an important edge to this open space.

Belltree Park lies to the west of Block 5 and will provide an important amenity space for residents and the local community. The interface between Block 5 and Belltree Park will be important, with the scale and overlooking providing enclosure and security in the park.

Block 6 is a rectangular shaped site of c. 1 hectare located immediately north of Block 5. It is a greenfield site which will be bounded by Park Street to the west, Dargan Street to the south, Lake Street to the east and Belltree Avenue to the north.

Existing two and three storey terraced houses lie to the north and west of Block 6 along Belltree Avenue and Park Street. The lands to the south and east of Blocks 5 and 6 is in the ownership of the Land Development Agency and will be subject to future planning applications.

The primary approach to Block 5 from the south will be via Main Street onto Friar's Street and then Park Street. From the north the primary approach to Block 6 will be via Marrisfield Avenue and Lake Street. Both Marrisfield Avenue and Main Street connect back to Hole in the Wall Road which runs southwards into the city centre.

The topography of Clongriffin is quite flat. There are no natural features or constraints on the site.



Figure 1.1 - Aerial view of site - site outlined in red. (Image Google Earth)



Figure 1.2 Terraced houses to the west of Block 6 on Park Street



Figure 1.3 Terraced houses to the north of Block 6 on Belltree Avenue



Figure 1.4 View to site from Main Street at junction of Friar's Street looking north-east



Figure 1.5 View to site from Lake Street looking west

2.0 | CONTEXT & SETTING

Site Context & Setting

Clongriffin is a relatively new town on the north fringe of Dublin city. The town is designated as Key Urban Village in the Dublin City Development Plan. The lands are located within the functional area of Dublin City Council along its northern fringe, with Fingal County Council having jurisdiction over the lands to the north and east.

For a new development area, Clongriffin is relatively close to Dublin city centre, only some 9.4km distance. It is served by Clongriffin Dart Station which is located at the heart of the subject site and will allow new residents frequent access to the city centre and beyond. The bus service from the town uses the Malahide QBC into Dublin city. The lands also connect into the cycle network linking to Dublin city and along the coast.

All of the primary infrastructure for Blocks 5 and 6 has been constructed and is fully operational. The primary foul and surface water drainage network was granted permission and constructed under the Clongriffin original planning grant Reg. Ref. 0132/02. The surface water sewers installed along Lake street discharge to the Clongriffin regional attenuation pond to the north east of the Clongriffin development prior to discharging to the River Mayne to the north. A detailed report on site services can be found in the engineer's report by CS Consulting Engineers and associated drawings submitted as part of this application.

The current ESB network is sufficient for the proposed development and the site itself is free from overhead cables and power lines. All other utilities such as natural gas, telephone and broadband have been provided on-site.

Below is a summary of all the works completed to date, which are directly adjacent to and vital for the prosperity of the proposed development of Blocks 5 and 6.

- Clongriffin Main Street, including the extension of the Malahide Road QBC up to the DART station;
- Landscaping of principal streets and public spaces, including the main town square (Station Square) and high-quality civic steps to the train station;
- Re-development and enhancement of Fr. Collins Park (with assistance from special contributions from the completed development);
- Mayne River linear park – 350m completed up to the new attenuation pond
- Belltree Park to the east of Fr. Collins Park;
- A 483 space public Park and Ride facility beside the railway station and the QBC;
- A 600+ public multi-storey car park to serve the new town;
- Construction of the entire internal road network up to wearing course;
- Construction of the entire internal drainage network (foul and surface water) with ongoing upgrades for SuDS as alterations are made to the permitted development by way of new planning applications;
- Completion and operation of the DART station



Figure 2.0 - Aerial view of site in wider context - site outlined in red. (Image Google Earth)



Figure 2.1 - Birdseye view of Mayne River Linear Park at the northern edge of Clongriffin

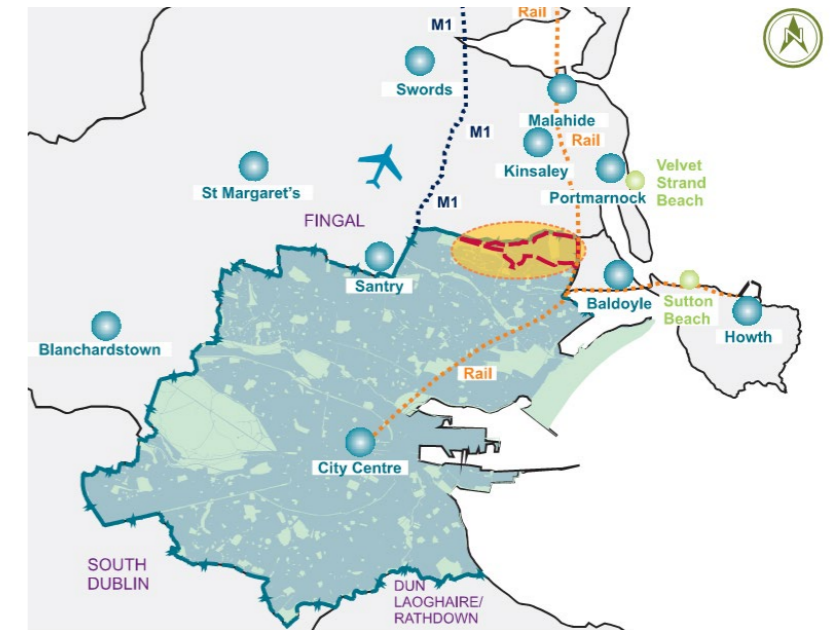
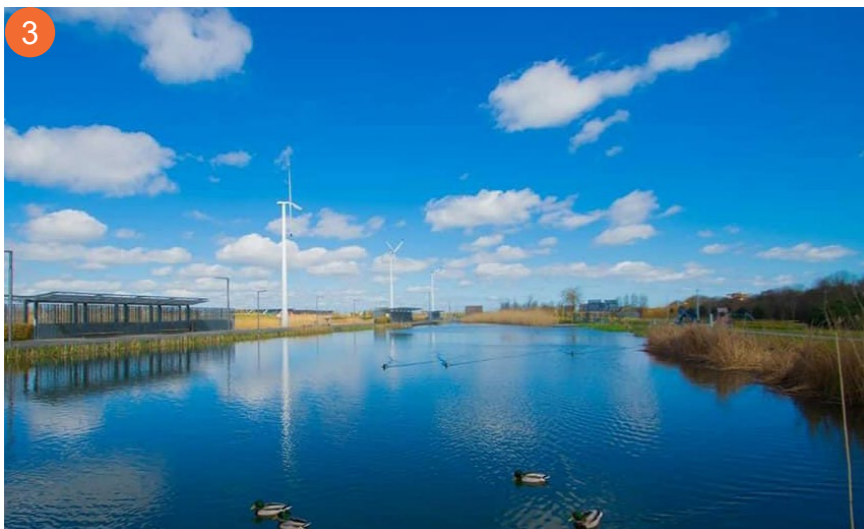


Figure 2.2 - Clongriffin Belmayne LAP map extract showing LAP area in greater Dublin context



Site Imagery

- 1 View of Station Square looking East
- 2 View along Main Street looking west
- 3 View of Fr. Collins Park
- 4 View from railway steps to Station Square looking east
- 5 View of Belltree Park housing
- 6 View of apartment blocks on Marrisfield Avenue



3.0 | PLANNING CONTEXT & HISTORY

Key Planning Context Issues

The Development Plan map is reproduced here.

The subject lands, Blocks 5 & 6 Clongriffin, lie within the jurisdiction of Dublin City Council and are governed by the Dublin City Council Development Plan 2022 - 2028.

The site is zoned Strategic Development and Regeneration Area 1 (SDRA 1). Seventeen SDRAs have been identified within the Development Plan and are considered as being capable of delivering significant quantities of homes and employment for the city. The SDRAs have an overarching framework and individual sets of guiding principles to promote the delivery of compact and sustainable growth under the headings of Architectural Design and Urban Design, Phasing, Access and Permeability, Height, Urban Greening and Biodiversity, Surface Water Management, Flood Risk, River Restoration, Sustainable Energy, Climate Change and Cultural Infrastructure.

The long term vision for Clongriffin – Belmayne was first set out in the North Fringe Area Action Plan in 2000. The Clongriffin Belmayne Local Area Plan (LAP) 2012 - 2018 was the ‘blueprint’ for the development of SDRA 1. It allowed for the future development to be managed in a co-ordinated and sustainable manner, providing for the needs of existing and future communities. The LAP was extended for a further period of five years until December 2022. Whilst the Clongriffin/Belmayne Local Area Plan no longer has any statutory force, its phasing provisions as referenced within the DCDP remains relevant as set out under sub-section 6.5.10 of the DBCL Planning Report and Statement of Consistency. Pending replacement, the Clongriffin/Belmayne Local Area Plan remains the last and most relevant expression of local area planning policy. For this reason, the relevant policies in the LAP are described, and consistency is shown.

The Local Area Plan addressed overall strategies relating to broad issues such as urban function, land use, access, movement, development and ‘place’. Although the Clongriffin Belmayne LAP has now expired, it had a direct bearing on the extant SHD permissions for Blocks 5 and 6. The current proposals are consistent with this approach.

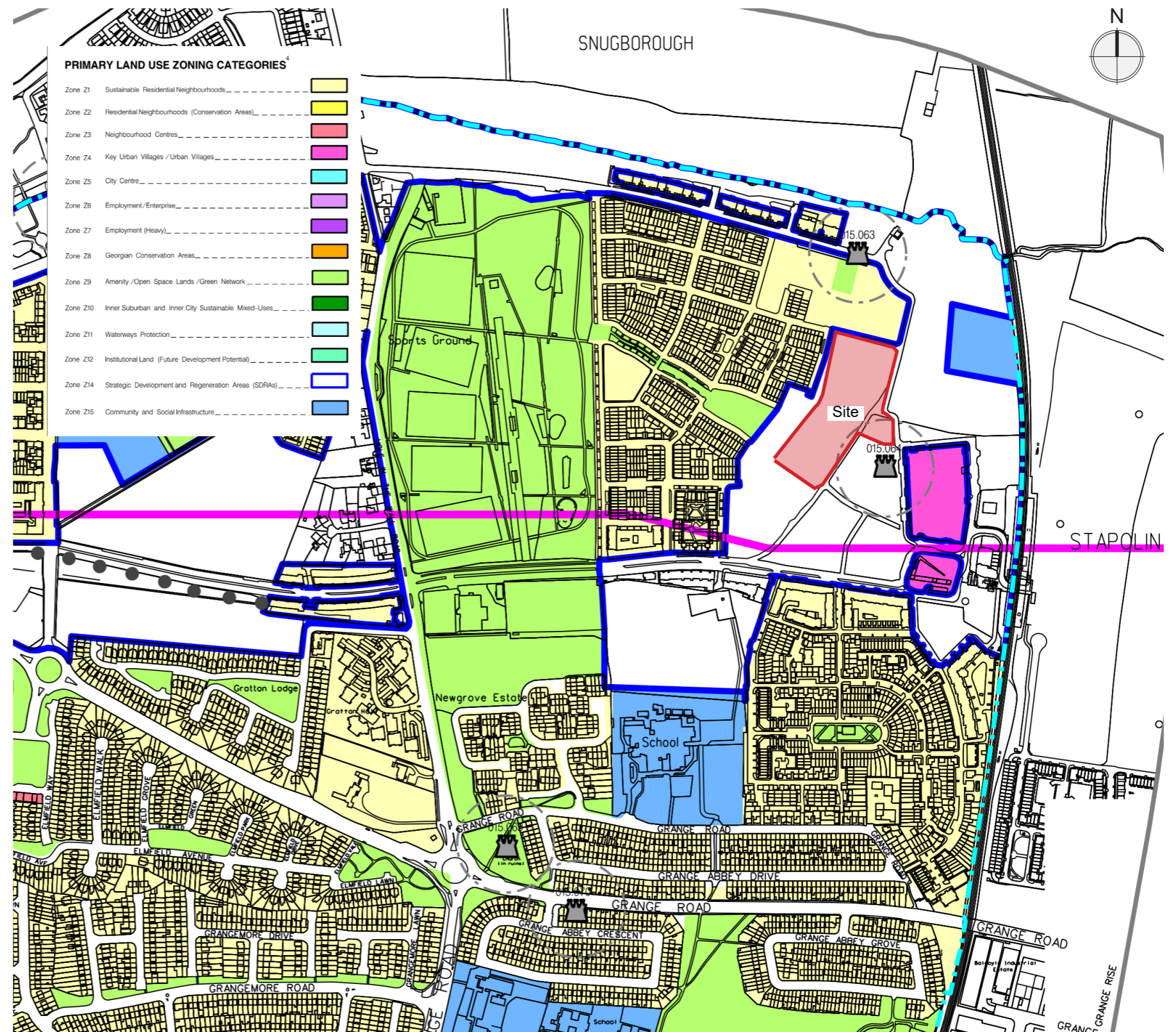


Figure 3.1 - Extract of Mapset C from Dublin City Development Plan 2022 - 2028 (Site outlined in red)

Strategic Development Regeneration Area 1

Clongriffin Blocks 5 and 6 lie within the Clongriffin area of SDRA 1. Grant Park is shown as an “existing green space” on this map also even though it is currently permitted but not built.

Chapter 13 of the DCC Development Plan states:
 “The rationale for designating Clongriffin-Belmayne as a Strategic Development and Regeneration Area (SDRA) is to provide a strategic spatial and urban design framework, so that the objectives of the City Development Plan can guide future development; and to ensure that the phasing and implementation strategy envisaged in the LAP can be delivered as part of the future build-out of the lands, when the LAP expires.”

Key Guiding Principles outlined within SDRA 1 include Urban Structure, Land Use & Activity, Height, Design and Green Infrastructure. Relevant guiding principles in relation to Blocks 5 and 6 and how they are addressed are outlined below.

Urban Structure

- Urban Form and Block Layouts shall be arranged in a perimeter block configuration and shall form a continuous urban edge with the street in order to create enclosure, provide passive surveillance and animation. Typical block widths shall generally be in the range of between 45-50 m (lower scale housing) to 55-60 m (higher scale apartments). This will enable suitable separation distances to be achieved between the rear of blocks, as well as providing for private open space.

Blocks 5 and 6 are designed as perimeter blocks to create a continuous urban edge.

Land Use & Activity

- Residential densities shall be highest within the two KUV centres and along Main Street, in proximity to the train station at Clongriffin and along the proposed Core Bus Corridor.

Blocks 5 and 6 are a 5 minute walk from Clongriffin train station and the proposed Core Bus Corridor and thus have been designed for a high residential density of 184 units per hectare.

Building Height

The following building heights shall be applied:

- Minimum heights of 5 storeys to the Key Urban Village centres at Clongriffin Rail Station and Belmayne Town Centre at the R139/R107 junction.

- Any proposed height must have regard to existing neighbourhoods and character, in order to protect residential and visual amenity.

Block 5 heights range from 3 to 6 storeys. There are no existing buildings on any side. Block 6 building heights range from 4 to 7 storey. The 4 storey buildings are located to the north west of Block 6 at Core A adjacent to existing two and three storey housing. Building setbacks have been carefully considered to ensure residential amenity of existing residents is maintained.

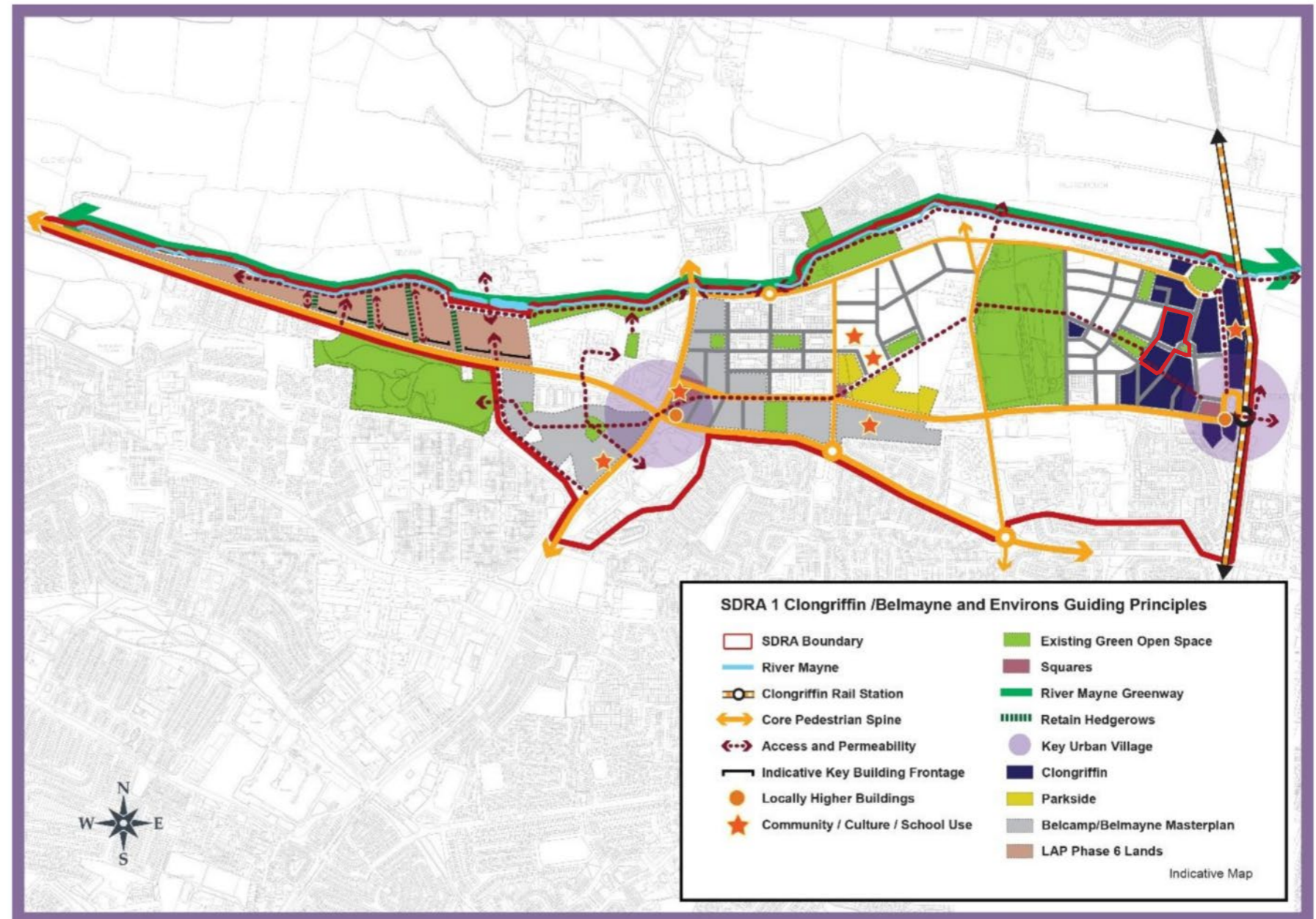


Figure 3.2 - SDRA 1 Clongriffin/Belmayne and Environs Guiding Principles Map from DCC Development Plan 2022 - 2028. (Site outlined in red)

Design

- Architectural treatment shall be of the highest quality and allow for a range of building types and designs, creating a visually coherent urban form.

The material palette between Blocks 5 and 6 will be consistent, with brick being the primary external cladding material chosen for its durability and quality over time. The design of the buildings varies to establish them as unique from one another and easily recognisable within the neighbourhood. Block 5 is a consistent perimeter block with central landscaped podium whereas Block 6 is composed of 5 sub blocks arranged around the perimeter with a central podium at first floor level tying them together.

Green Infrastructure

- Tree planting, landscaping and SuDS features will be integrated into the urban structure and movement framework for the SDRA lands. Key green links shall provide additional landscaping in order to accentuate their strategic importance as amenity, sustainable movement and biodiversity corridors.

The landscape design at Blocks 5 and 6 is consistent with the green infrastructure guiding principle for the SDRA 1 lands. Tree planting and landscaping at street level are integrated within the parking. The landscaping design aims to maximise privacy and private amenity for ground floor residents. Permeable paving is specified for on street parking bays and sedum green roofs are specified at both blocks.

3.0 | PLANNING CONTEXT & HISTORY

Planning History

A 10-year planning permission for the development of a new mixed-use development with town centre facilities on a 133 acre site north of Grange Road, Donaghmede, Dublin 13 was sought by Gannon Homes Ltd. in January 2002. This was an ambitious plan and a single application was made for the entire development which originally comprised some 3,600 dwellings and 80,500sqm of commercial development. Subsequent amendment permissions increased the total commercial offer to 100,000sqm. Blocks 5 and 6 lie within the centre of this development.

On the 27th June 2003, An Bord Pleanála granted full planning permission for the development, subject to 46 conditions. Since the parent planning permission was granted in June 2003, numerous planning applications have been submitted to the Local Authority for various alterations and revisions, which range in size from small changes-of-use to the applications for large blocks of urban housing.

The 10 year parent permission withered in 2013 but, prior to this, Clongriffin had the benefit of cumulative planning permissions for 3,565 dwellings and c.96,625sqm of non-residential uses.

Due to the economic downturn, much of the urban blocks, including Blocks 5 and 6 did not get built out under the parent permission. A decision was taken in 2018 to apply for the remaining blocks in Clongriffin which had no live planning permission. This process took the form of three concurrent planning applications, two of which were made under the SHD process to An Bord Pleanála and one application to Dublin City Council. In December 2019 An Bord Pleanála granted permission for SHD 1 which included Block 6 (Reg. Ref. ABP-305316-19) and SHD 2 which included Block 5 (Reg. Ref. ABP-305319-19) with conditions. In January 2020, Dublin City Council granted permission for the remaining blocks which were applied for concurrently. The summary of the SHD grants is as follows:

- SHD 1: ABP Ref. 305316-19 – This permission relates to Blocks 6, 8, 11, 17, 25, 26, 27, 28 & 29 for 1,030 residential units, c.2,421.3 sq.m. of ancillary residential amenity facilities and c.2,285.5 sq.m of commercial floorspace on a site that extends to 6.3 ha in area.
- The permitted Block 6 development provided for 270 BTR apartments (comprising 123 x 1 bed and 147 x 2 bed units) and a creche of 418m² (59 childcare spaces) in 5 buildings that ranged in height between 4- and 7-storeys in height (max height of 33.2m). A total of 184 are permitted to serve Block 6, comprising 119 spaces below podium level and 65 on-street car parking spaces. Communal open space is provided at podium level in a courtyard over car parking. A public open space of 1,434m² (Grant Park) would be provided to the southeast of this block.
- SHD 2: ABP Ref. 305319-19 – This permission relates to Blocks 5, 4 and 14 for 500 residential units, c.1,093.5 sq.m of ancillary residential amenity facilities and c.3,125 sq.m. of commercial floorspace on a site that extends to 2.9 ha in area.

- The permitted Block 5 is situated immediately to the south of Block 6 (above) and provided for 138 apartment units (comprising 52 x 1 bed; 83 x 2 bed and 3 x 3 bed units) in a building that ranges between 3- and 7-storeys in height (at a max height of 24.3m above OS Datum). Commercial uses are permitted and provided at ground floor level on the southern side of the block where it interfaces with the permitted Block 4 to the south. Ancillary outdoor residential amenity space are provided within the courtyard at podium level and roof terraces. A total of 96 no. car parking spaces were approved of which 54 no. were located below podium level and 42 no. were provided as on-street parking.

These permissions are due to expire in early 2025. Whilst the proposed



Figure 3.3 - Scope of original Clongriffin planning application granted in 2003 (DCC Ref. 0132/02) (Site outlined in red)

development is similar in its nature (noting Block 6 is no longer pursued as BTR), massing and form to that approved under the extant SHD permissions, it is being pursued as a fresh LRD Planning Application due to the limited life left on the extant SHD permissions and the inability to extend the duration of these permissions.

As of April 2024 2,220 dwellings and c.14,650sq.m. of commercial uses have been completed within the new town of Clongriffin.

Further information and detail on planning compliance matters can be found in the separate Planners Report prepared by Declan Brassil and Company Limited Planning Consultants.

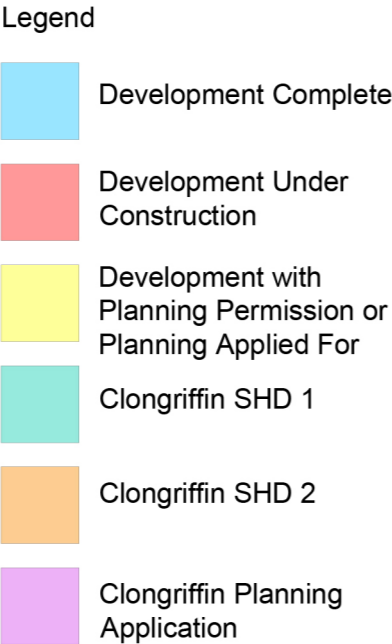


Figure 3.4 - 2018 Clongriffin overview drawing showing development completed, under construction, permitted as well as of scope of 3 concurrent applications which were subsequently granted. (Clongriffin SHD 1 - ABP Ref. 305316-19, Clongriffin SHD 2 - ABP Ref. 305319-19, Clongriffin Planning Application DCC Ref. 3894/19) (Site outlined in red)

4.0 | URBAN DESIGN RATIONALE

Layout Design Strategy

The urban design strategy for Blocks 5 and 6 follows the original design principles for the 2002 and subsequent 2019 Clongriffin masterplan.

Perimeter urban scale blocks are laid out to form a continuous edge with the street in order to create enclosure, provide passive surveillance and activity.

The development includes a new pocket park called 'Grant Park' at the corner of Lake Street and Dargan Street, and a section of the planned greenway route from Fr. Collins Park to Station Square in the form of 'Market Street'; this is a strategic greenway that runs east to west across the North Fringe.

As previously outlined, strategic drainage and the road infrastructure surrounding the blocks has already been constructed to wearing course, which establishes the perimeter and block footprint of the undeveloped sites.

The streets surrounding Blocks 5 and 6 are mostly secondary streets which form part of an internal network of smaller scale, neighbourhood roads and are an alternative, slower, options for cyclists and local traffic. These secondary streets connect back to the primary street network of Main Street to the south and Marrisfield Avenue to the north. Dargan Street which runs east west between Blocks 5 and 6 is a neighbourhood road which will link back to the existing section of this street to the north of Block 12. Different road widths, on-street parking, tree planting and materiality have been employed to aid legibility and wayfinding, whilst slowing traffic by design. Emphasis has been made to create pedestrian and cycle friendly neighbourhoods, utilising principles from DMURS.

Grant Park and Market Street's shared surface space will add to the network of urban social spaces in Clongriffin, which is already served by from the large expanse of Fr. Collins Park with its formal play areas for children, local green kickabout areas, pitches, water features and high-quality hard landscaped terraces, the recently completed Belltree Park and Belltree Green as neighbourhood parks, the Mayne River linear park and the landscaped civic plaza in the centre of the town, Station Square.

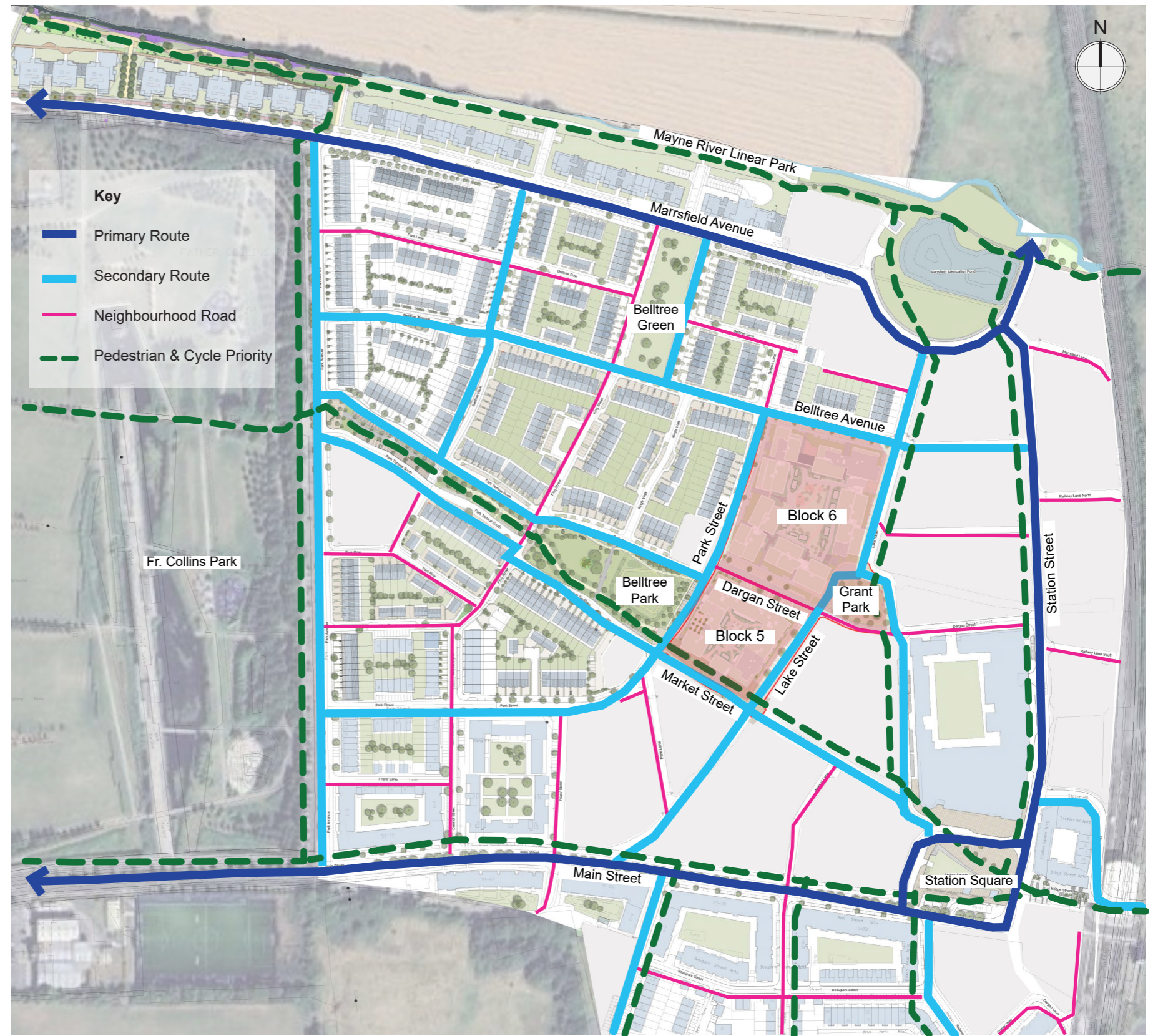


Figure 4.1 - Clongriffin Road Hierarchy as designed for original town design (Site coloured in Red)

Height and Massing Strategy

The massing and height strategy is guided by the designation of Station Square as a Key Urban Village within SDRA 1 of the DCC Development Plan 2022 - 2028. In general, development density and building heights increase towards the centre at Station Square, as per the guiding principles and Framework Plans set out in Chapter 13 of the Development Plan.

Blocks 5 and 6 make the transition between the existing Belltree 2 and 3-storey houses and the more urban blocks which form the next zone as one approaches the public transport hub at station Square. The height strategy of 3 to 7-storeys at Blocks 5 and 6 follows the urban design principles for height already established in Clongriffin.

It is considered that the proposed building heights and net density of the development are not significant or 'enhanced' and that an assessment of the scheme against the performance based criteria set out in Table 3, Appendix 3 of the Development Plan demonstrates compliance. The criteria have been addressed on a point by point basis in the table extracted from the Development Plan in the Planning Consultant's report prepared by DBCL Planning Consultants.

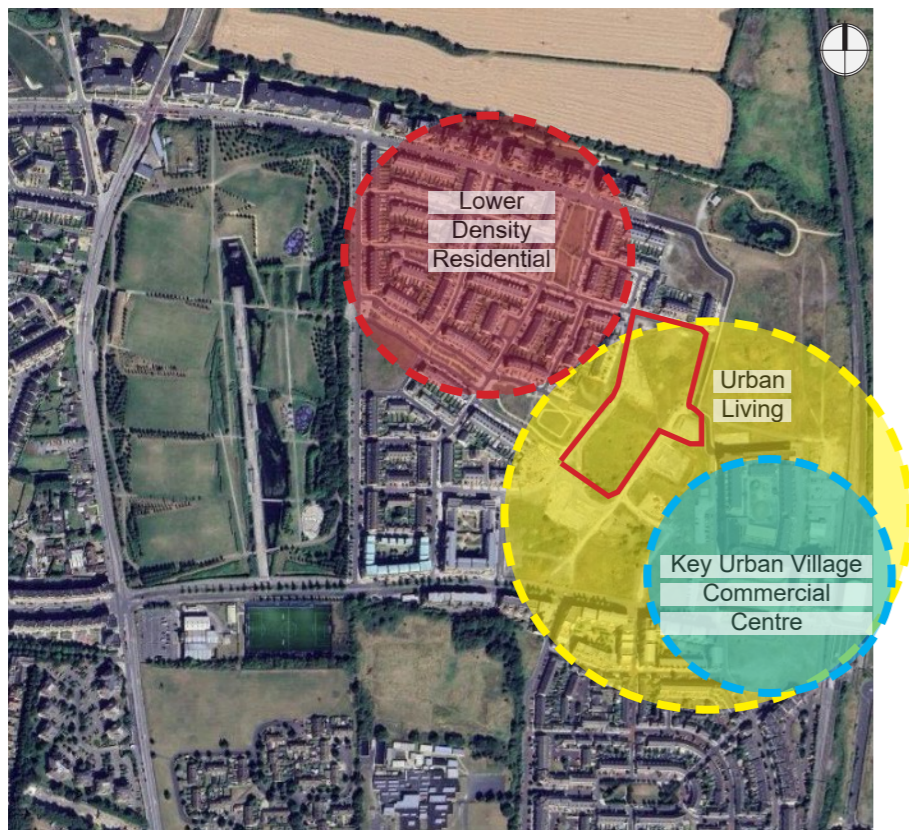


Figure 5.1 - Blocks 5 and 6 - Height Diagram

6.0 | SITE CONNECTIVITY & PERMEABILITY

Site Connectivity

Connecting the new development to the wider neighbourhood of Clongriffin is a key principle of the urban design strategy. Pedestrian links will provide access to the green network within the area as well as to the public transport nodes outlined below.

Public Transport

The subject site is well located to avail of existing high frequency bus and train services.

Clongriffin is currently served by the high frequency number 15 bus operated by Dublin Bus. This bus operates at a frequency of 8 mins at peak times on week days and also extends to 24 hour service. The terminus for the number 15 bus is located at Station Square, Clongriffin.

Station Square Clongriffin will also be the terminus for the D1 and D3 spine/branch routes, the N8 orbital route and the L80 local route. Station Square is a 5 minute walk from Blocks 5 and 6. The D1 route will travel from Clongriffin through the city centre and terminate at Grange Castle. The D3 also travels through the city centre and terminates in Clondalkin. The N8 orbital route will operate on a 30 minute frequency via Dublin Airport to Blanchardstown Shopping Centre. The L80 route will travel via Beaumont Hospital to DCU.

Clongriffin Train station is situated a 5 minute walk from Blocks 5 and 6 with a frequency of 15-20 mins at peak times. The Dart Expansion Programme which is funded under the National Development Plan 2018 - 2027 will extend the DART service as far as Drogheda and will provide a sustainable, electrified, faster, reliable and user friendly rail system, which increases train frequencies and customer carrying capacity.

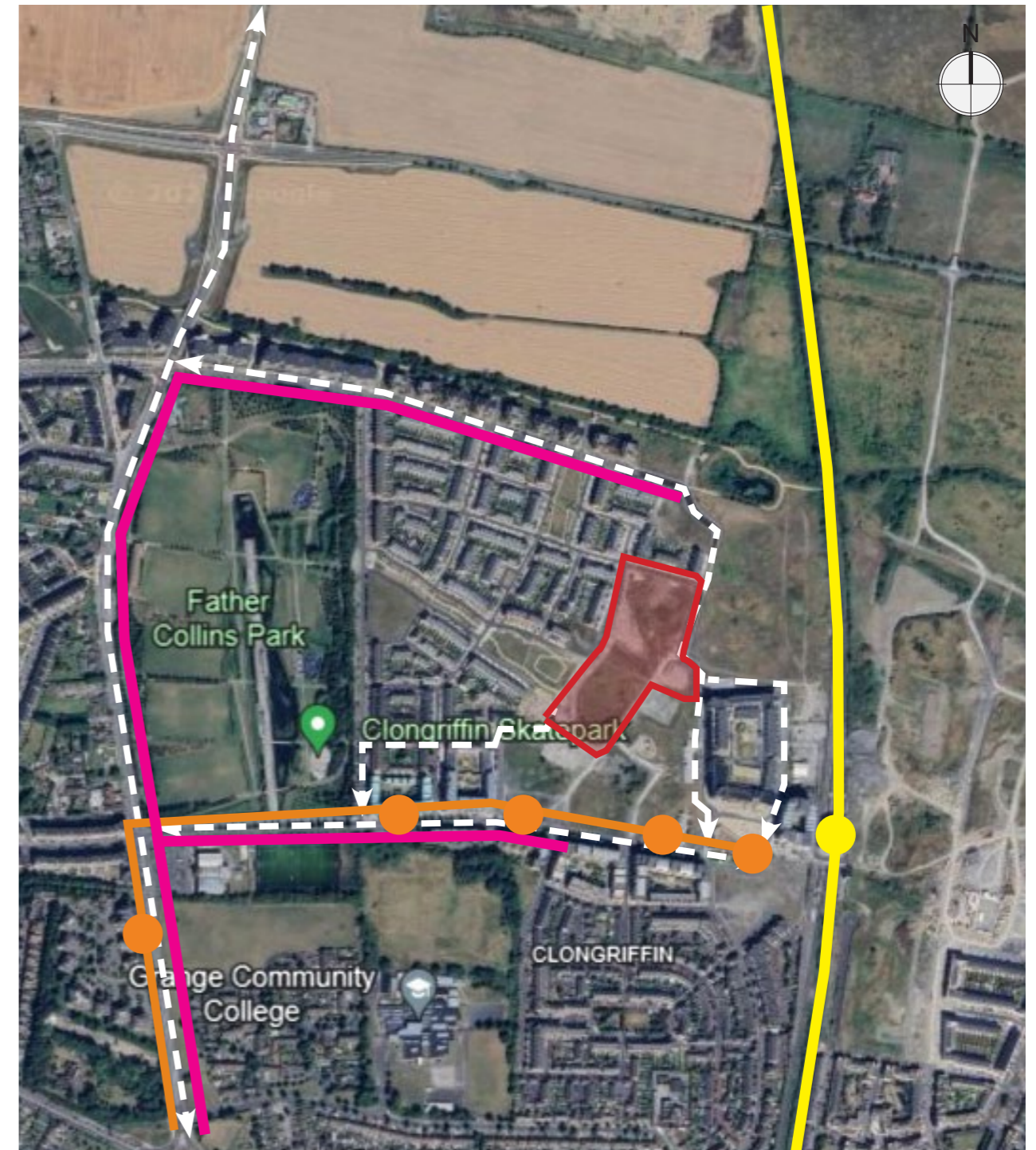





Figure 6.1 - Site connectivity diagram (Image: Google Earth)

-  No 15 Bus Route with Bus Stop
-  Train Line with Station Stop
-  Dedicated Bike Lane

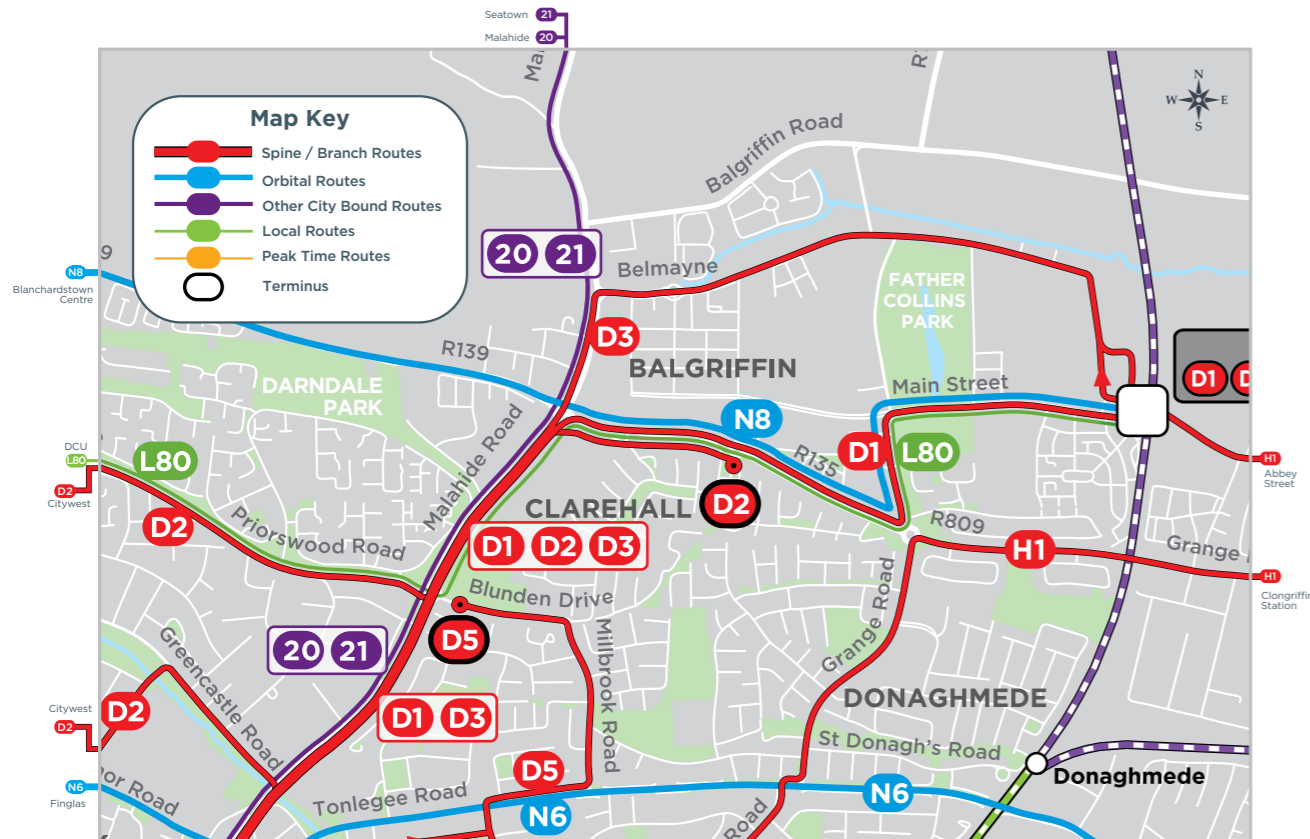


Figure 6.2- Bus Connects Local Area Map for Clarehall/Belmayne, Clongriffin and environs

Cycle Network

There are dedicated existing bicycle lanes running west along Main Street and Mairsfield Avenue connecting back to the Hole in the Wall Road and onwards to Clarehall and the city centre.

Road Network

The road network in Clongriffin was granted permission under the parent permission for the town (Ref 0132/02). As noted on the previous pages the entire drainage network has been installed and all roads have been completed up to wearing course. A good portion of the road network has been completed as the town has been built out.

With regard to Blocks 5 and 6, Park Street and Lake Street have been partially completed to the east and west of both blocks. Lake Street will be completed as far as the junction with Market Street to the south-east corner of Block 5 as part of the proposed development. In conjunction with the proposed development, the remaining section of Park Street (currently built to wearing course including foul and surface water sewers) will be completed, running along the western side of Block 5, under the parent permission 0132/02.

Belltrees Avenue has been completed to the north of Block 6. Dargan Street has been partially built to the north of Block 12 and will be completed to extend westwards as part of the proposed development between Blocks 5 and 6. Finally Market Street to the south of Block 5 will be completed between Park Street and Lake Street, as part of the proposed development.

As indicated on the road hierarchy diagram (Fig. 4.1), Park Street and Lake Street are designated secondary streets which link back to the Primary Routes of Main Street to the south and Mairsfield Avenue to the north of Clongriffin.

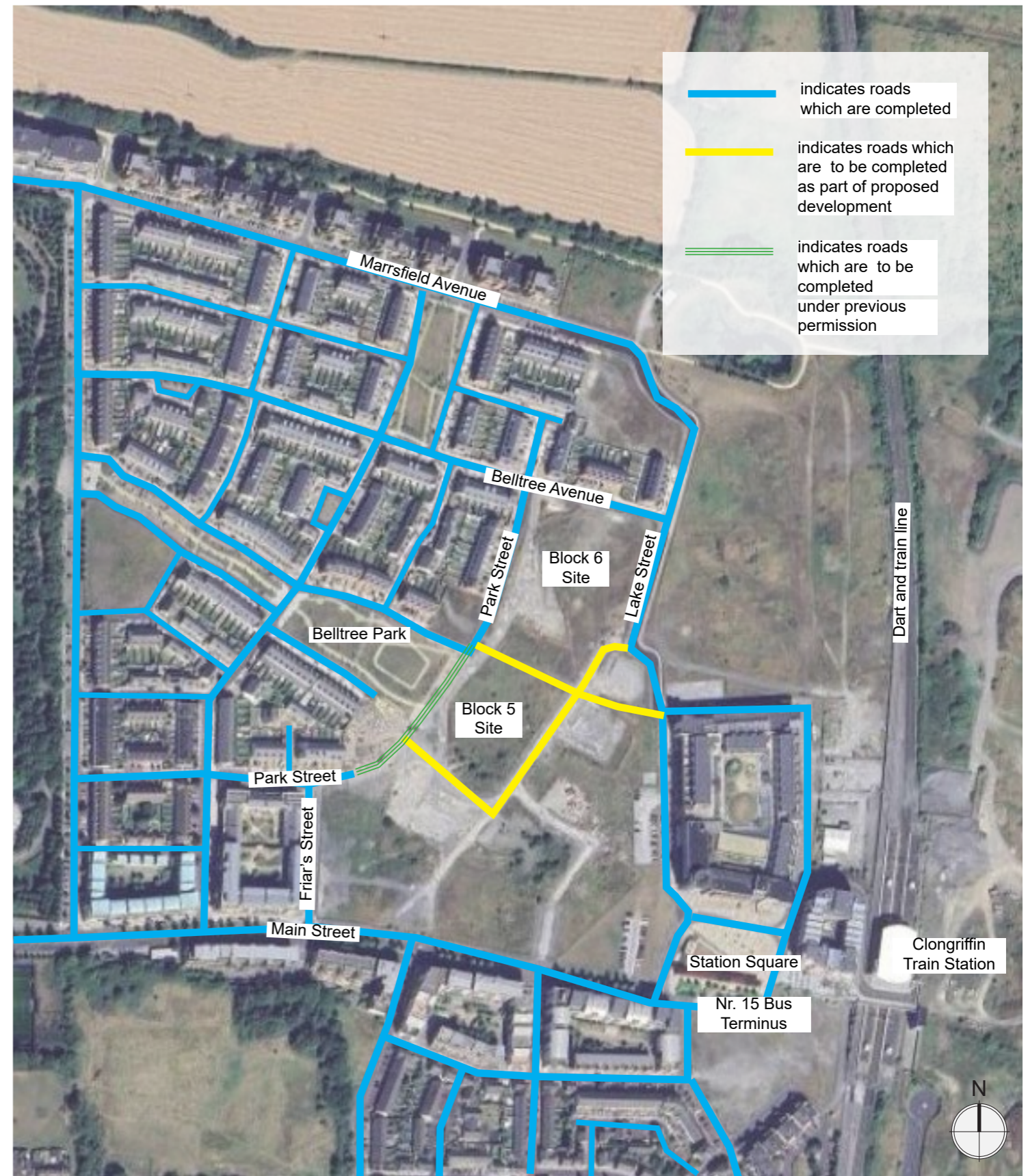


Figure 6.3 - Aerial view of site showing road completion status (Image Google Earth)

7.0 | OPEN SPACE

Public Open Space - Context and Background

The context and background outlined below for the Public Open Space at Clongriffin illustrates how the bulk of Public Open Space within the master-planned town has already been provided up front to satisfy the 10% requirement under the parent permission for Clongriffin lands (reg. Ref. 0132/02 / ABP PL 29N.131058).

7.1 CONTEXT

Clongriffin is a 133 hectare development within the North Fringe of Dublin City Council, located between Fr Collins Park in the west, the Dublin-Belfast railway in the east, the Mayne River to the north and Grange Lodge Avenue to the south. The county jurisdictional boundaries are the railway line and the Mayne River.

Clongriffin was the subject of a single 10-year planning permission for 3520 dwellings and 85,061 sqm of commercial/retail uses, granted on the 27.06.2003 by An Bord Pleanála, Reg. Ref. 0132/02 ABP PL 29N.131058 (subject to conditions).

The parent permission established the primary infrastructure for the development: roads, trunk drains, and public open space. Development commenced in late 2003 and the primary infrastructure was constructed, setting out a blueprint of serviced sites for the roll-out of the permitted development. Over 1300 dwellings and most of this primary infrastructure, including the train station, was completed prior to the expiration of the parent permission and the financial crash of 2008.

There have been numerous planning permissions made on foot of the parent permission, all of which have 'slotted' into the parent masterplan.

The masterplan has been and continues to be consistent with the relevant planning policy and development standards for the lands over the course of its history; the North Fringe Area Action Plan 2000, the Belmayne-Clongriffin Local Area Plan 2012, and SDRA 01 of the Dublin City Development Plan 2022.

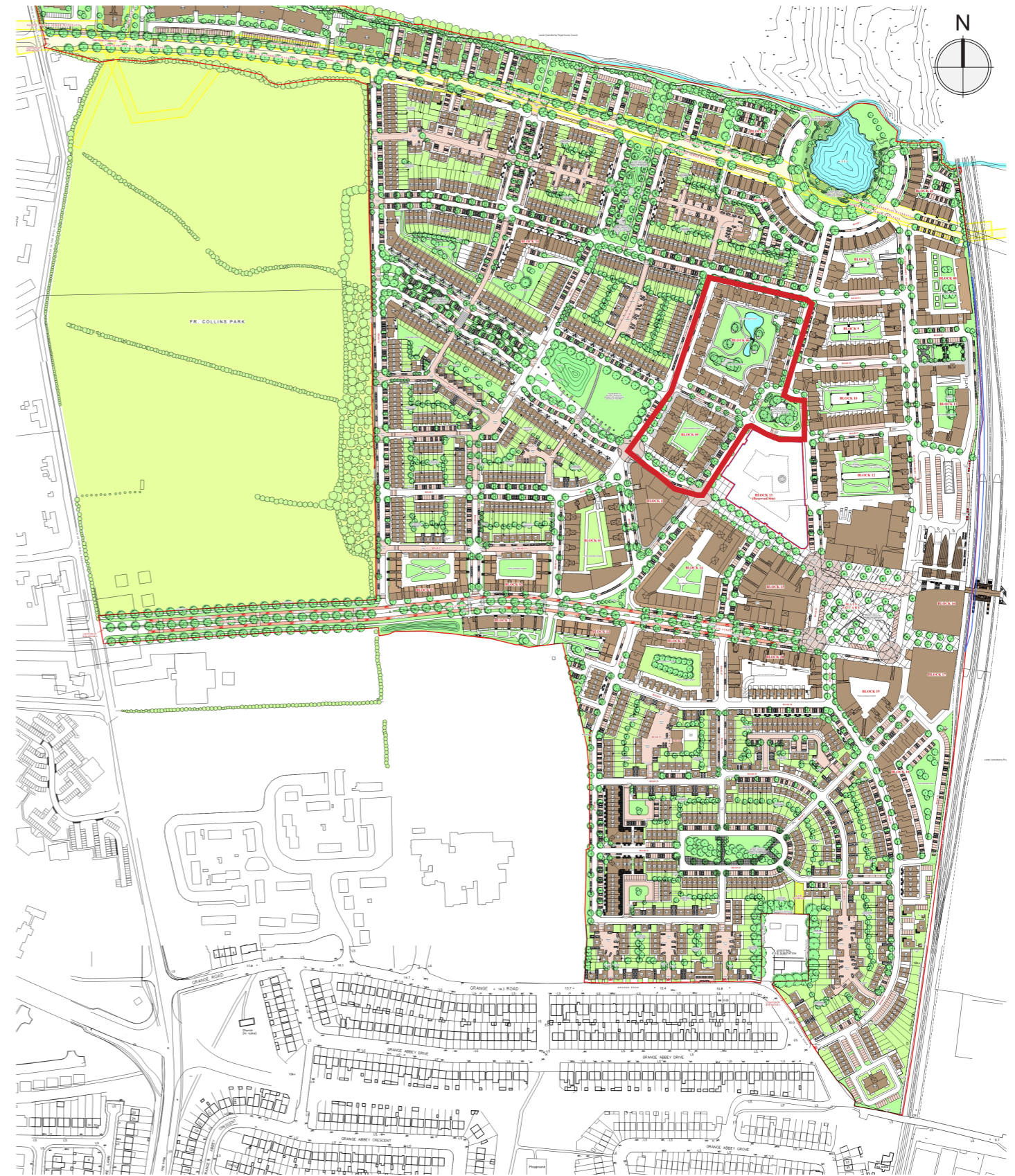


Figure 7.1 - Scope of original Clongriffin planning application granted in 2003 (DCC Ref. 0132/02) (Site outlined in red)

7.2 NORTH FRINGE ACTION AREA PLAN 2000

The urban design objectives for the North Fringe Area included character, spatial continuity and enclosure and high standards of design and quality in the public realm. Principal elements included a series of 'green links', a re-designed and enhanced Fr Collins Park, a linear amenity in the form of the Mayne River and a series of residential squares and urban spaces linked by pedestrian and cycle routes.

These spatial elements have been captured in the public realm masterplan for the Clongriffin 'parent permission' and have remained through the first phases of development and subsequent amending permissions, up to the present day.

7.3 BELMAYNE-CLONGRIFFIN LOCAL AREA PLAN 2012-2018

Section 10 of the Belmayne-Clongriffin LAP sets out the Environment and Open Space Amenity Strategy for the Clongriffin and the wider area. The LAP notes that many elements of the originally envisaged landscape and open space network were not yet complete and that the completion of an integrated network of open space areas as originally envisioned would be sought.

Fig 10.1 of the LAP identifies the existing parks, amenity and recreation area in the North Fringe, including within Clongriffin: Phase 1 of the Mayne River Park, Station Square and Beupark local square.

Fig 10.2 of the LAP indicates planned but not completed open space, which upholds and maintains the open space strategy permitted under the Clongriffin parent permission 0132/02.

3.4 Principal Elements of Spatial Structure

- 1 An activity spine in the form of a boulevard axis, extending from the Malahide Road to the proposed railway station, as the primary community focus.
- 2 A series of 'green links' running north-south terminating in recreational or other community facilities with high space requirements.
- 3 A redesigned and significantly enhanced central park (Father Collins Park) with improved sports and recreational facilities.
- 4 Strong links back to existing developments at Clarehall estate and Donaghmede Shopping Centre.
- 5 A new perimeter road defining the northern development limit.
- 6 The landscape features of the Mayne River and its associated tree belt protected as an ecological habitat and linear amenity area.
- 7 A series of residential squares linked by a network of pedestrian/cycle routes.
- 8 Malahide road realignment option.

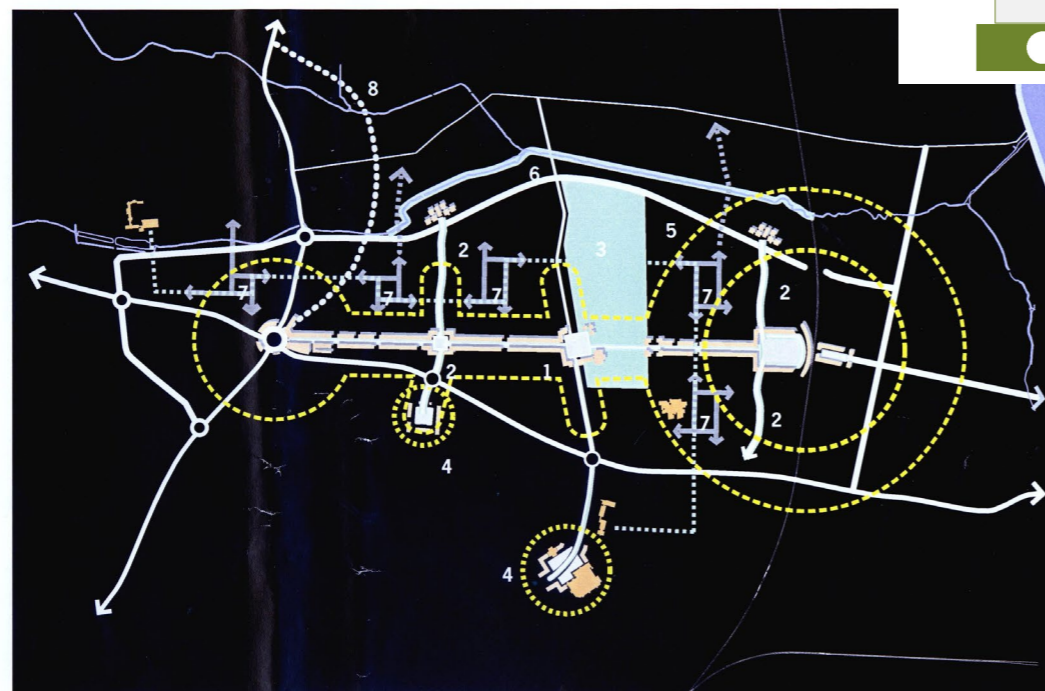


Figure 7.2 - Extract from North Fringe Action Area Plan 2000 - Principal Elements of Spatial Structure



Figure 7.3 - Extract from Belmayne-Clongriffin LAP - Fig 10.2: Planned but not yet permitted Public Open Space Areas

7.4 DUBLIN CITY DEVELOPMENT PLAN & SDRA 01

Clongriffin-Belmayne was designated a Strategic Development and Regeneration Area (SDRA) to provide a strategic spatial and urban design framework, to guide future development and to ensure that the phasing and implementation strategy envisaged in the LAP can be delivered as part of the future build-out of the lands, when the LAP expired.

The guiding principles map (see page 25) for Clongriffin follow the LAP's urban structure, including the strategic masterplan for a network of public open spaces and connections. Key plan Fig. 13-1 of the SDRA indicates a public open space masterplan that aligns with the LAP and that of the 'parent' permission 0132/02.

7.5 'PARENT' PLANNING PERMISSION REG. REF. 0132/02: EXTRACT FROM THE ARCHITECTS REPORT 25.01.2002

1.6 PROPOSED PUBLIC REALM

The general design strategy for the public realm of this proposed development relates to a number of the urban design objectives outlined in the North Fringe Action Area Plan (Section 3.2). The strategy aims to achieve a public realm that:

- Creates a strong sense of identity throughout the various character areas of the site.
- Defines a clear distinction between public and private spaces.
- Creates attractive and successful outdoor spaces of a high design standard.
- Helps the legibility of the proposed development by reinforcing the hierarchy of routes and spaces.

Public open spaces provided

A range of public open spaces has been provided in this development. **The total area of the spaces provided is 13.3 acres, representing 10% of the site area in accordance with the Dublin City Development Plan 1999.** Location of the spaces are indicated on Figure 1.9 Rev. A. **The quality of the spaces provided, proximity of Father Collins Park and the objective of the Action Plan to achieve a sufficient density of development in proximity to transport nodes all influenced the extent of space to be provided.**

Diversity in the nature of the public open spaces provided is achieved through a variation in their function, size, shape and treatment. In addition the location of each of these public squares and their positions in urban sequences greatly influences their different characters. The urban form that surrounds all of these public open spaces has been designed so as to complement their shape and character. All of the buildings that surround open spaces contribute to overlooking allowing natural surveillance by frontages to these spaces and entrances off them. These local parks are dispersed throughout the site. They are placed within 3-5 minutes walk (250-400m) of the majority of homes in this development. This is a guidance figure recommended in the "Urban Design Compendium, 2000" (3.5.2) by Llewelyn-Davies for English Partnership and in the Housing Corporation. They have been positioned so as to act as a means of orientation through the site.

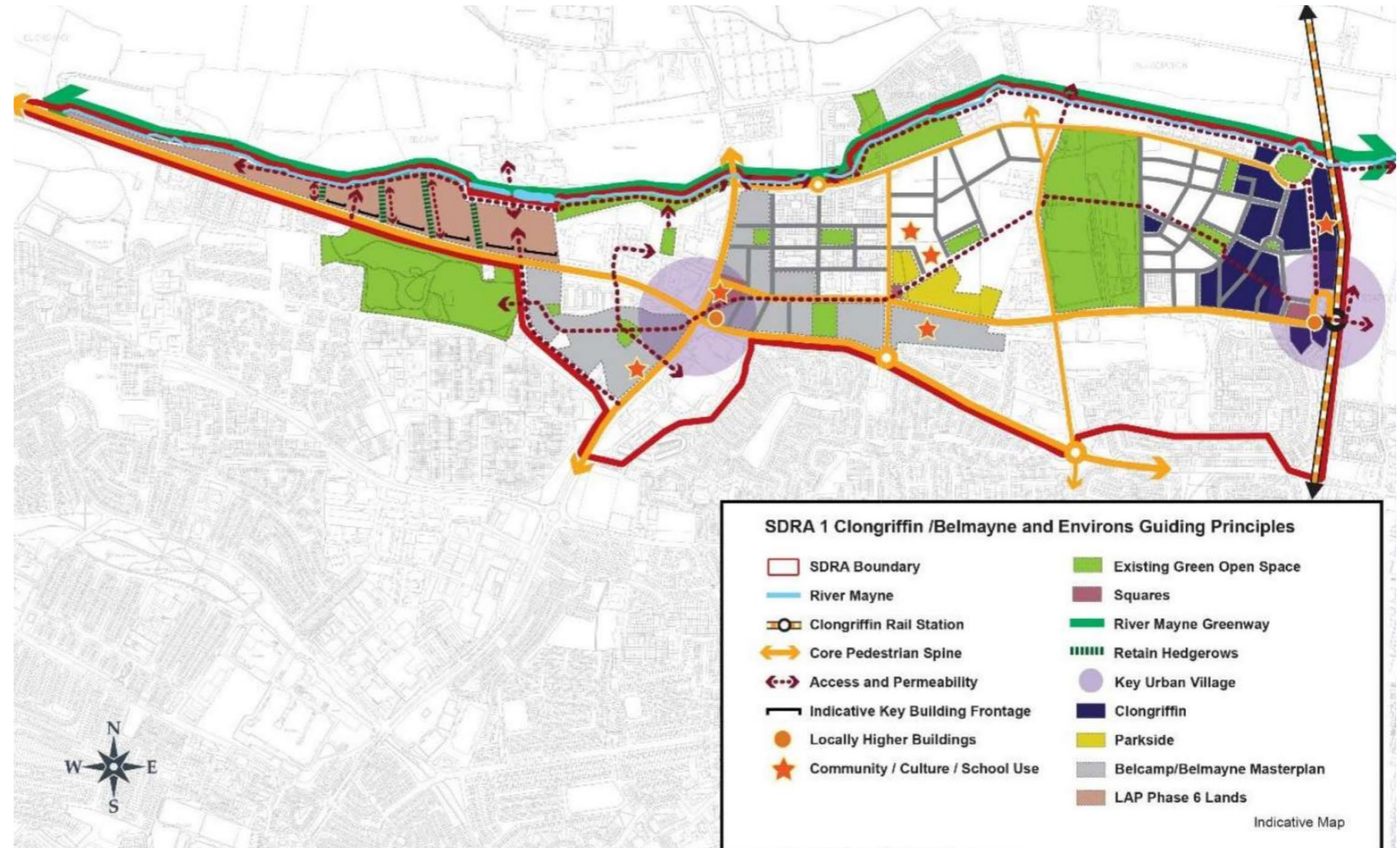


Figure 7.4 - Extract from DCC Development Plan SDRA 1 Clongriffin Belmayne Guiding Principles Map showing Grant Park

The dimensions of the proposed Main Square are 120m x 100m. These dimensions are therefore less than the maximum distance limit within which body gestures can be perceived clearly (135m). 135m is also the maximum distance within which a man can be distinguished from a woman. (from "Urban Design - Street and Square," C. Moughtin).

Urban Park on "Green Route"

There are two contrasting spaces on the "panhandle" that form the "green route" connecting Father Collins Park and the town centre. The larger of the two has been treated in an asymmetrical fashion in order to define the most direct pedestrian route to the town. This is located on the south side of the square, delineated with feature lighting. The larger portion of this square will be grassed. This is the main green space serving the town. The residential accommodation provided on its two long sides will mean that the general atmosphere and character of this area will be quieter and more relaxing than the main square.

Open Space along Mayne River

A more natural character is proposed for the square encircling the Mayne River Lake and for the riverside walk along the Mayne River. The proposed

walkway around the lake is at a higher level than the surrounding roadway. There are a number of steps down to the lake edge from this walkway/cycle route, thus providing considerable amount of seating and resting place offering opportunities for quiet contemplation beside water. The riverside walkway will be separated in certain sections from the pavilion apartment blocks to the south by railings. This walkway is accessible from along the Northern Parkway between Apartment Blocks A in two locations. The route of this riverside walkway has been designed to respect the amenity of this important site feature.

Urban Park in Southern Residential District

The public square proposed in the centre of the residential district to the south has been designed to best serve the neighbourhood it surrounds. There are a considerable number of sitting areas provided in this square. A children's playground and an earth-bermed children's play structure is proposed.

Treatment of public routes

The treatment of public routes throughout this proposed scheme adds to the general quality of the public realm. On residential routes the design

includes proposed landscaping, activity through building entrances and flights of steps as well as the detailing of the building fabric that encloses the spaces as indicated in Section 1.5 “Proposed urban form.” Ways in which these routes are naturally surveyed are outlined under the heading “Pedestrian and cycle movement” of Section 1.7 “Proposed movement pattern.”

The streets and street junctions of the town centre are also important components of the public realm. A number of these nodes have been designed as incidental spaces within the urban fabric. The square connecting both routes from the main street to the proposed lake is one such space. Detailing of this space is indicated on Mitchell & Associates drawings. The ground floor of buildings located at important positions in the urban structure generally propose uses that relate directly to passing pedestrians, thus creating activity interest, contributing to the public realm. These include pubs, cafés and restaurants as indicated on Figure 1.6a Rev. A. Section 1.8 “Proposed land uses” outlines in greater detail the mix of uses proposed. Street entrances are at frequent intervals in the fine-grained urban fabric of the town, especially where there is a vertical mix of uses within buildings.’

7.6 SHD PERMISSIONS AND OPEN SPACE STRATEGY

Extract of Statement of Consistency, prepared by Downey Planning (pg. 41) as submitted in support of SHD application Ref. ABP 305316-19.

‘Clongriffin is well served by public open space with Father Collins Park providing a public park comprising 26 hectares. Notwithstanding this, the overall Clongriffin Masterplan lands provides for 53, 962 sq.m. of public open space (which exceeds the 10% requirement for the overall 53.56 hectares of land).’

The above figure shows 0% reliance on Father Collins Park to contribute towards the required 10% provision.

7.7 QUANTUM OF PUBLIC OPEN SPACE PROVIDED

At Clongriffin, the 2003 permission included public open space, at 10% of the overall site area. The bulk of that public open space has since been completed and provided. In fact, 51,326 square metres (sq m) has been provided to date.

The intended application for Block nos. 5 and 6 now includes the public open space of 1,433 sq m proposed to the south-east of Block no. 6 (and labelled Grant Park), or 6.4% public open space for the subject application. The 1433 sq m area of Grant Park was permitted under the Clongriffin SHD 1 application.

The provision of Grant Park will contribute to achievement of the requirement for 10% public open space on the overall 53.56 ha Clongriffin site, consistent with the 2022 DCC Development Plan.

In total, upon delivery of that additional public open space, the entire amount provided on the 53.56 ha Clongriffin site will be 52,761 sq m, so more than 98.5%. The remaining balance will be provided within the remainder of the Clongriffin lands within the LDA ownership.

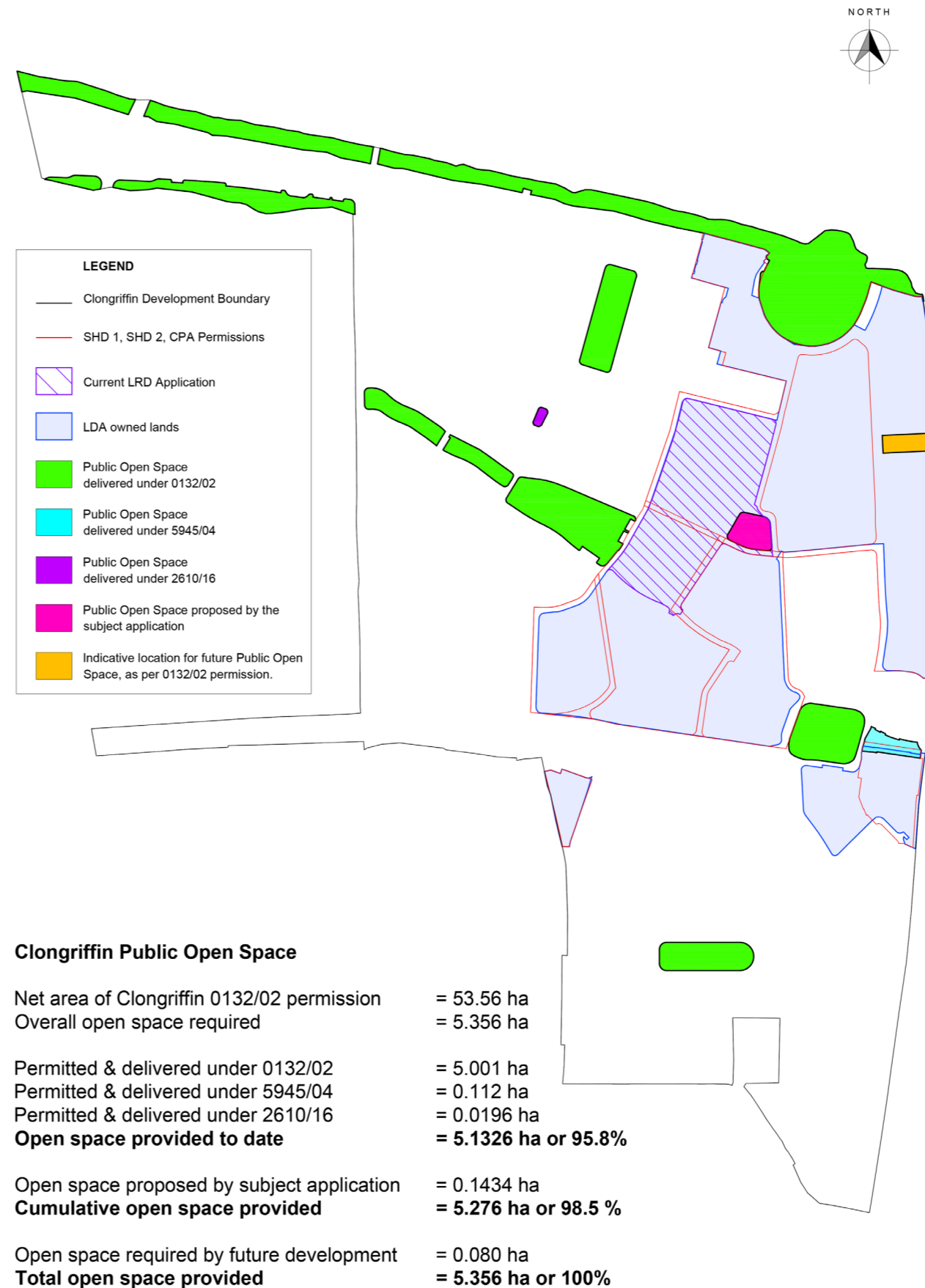


Figure 7.5 - Public Open Space Delivery at Clongriffin

7.0 | OPEN SPACE

Proposed Public Open Space Provision

Policy and Objective 5.1 of the Sustainable and Compact Settlements Guidelines that states as follows:

'The requirement in the development plan shall be for public open space provision of not less than a minimum of 10% of net site area and not more than a minimum of 15% of net site area save in exceptional circumstances. Different minimum requirements (within the 10-15% range) may be set for different areas. The minimum requirement should be justified taking into account existing public open space provision in the area and broader nature conservation and environmental considerations.' [Emphasis added in bold]

The 10% Public open Space requirement for Clongriffin has been provided as per the SDRA and was been frontloaded. Please refer to DBCL Planning Consultants Planning Report, section 6.5.6 for full Assessment of Consistency with planning policy.

The proposed development provides approximately 1,433 sq.m of public open space in the form of a pocket park at Grant Park to the east of the proposed blocks.

Further detail on the landscape design of Grant Park can be found on page 45 of this Architectural Design Statement and in the landscape documents



Figure 7.6 - Clongriffin open space provision with proposed development red line boundary overlaid

Existing Public Open Space at Clongriffin



Figure 7.7 - Public Open Space at Fr. Collins Park, Clongriffin



Figure 7.8 - Public Open Space at Beltree Park, Clongriffin

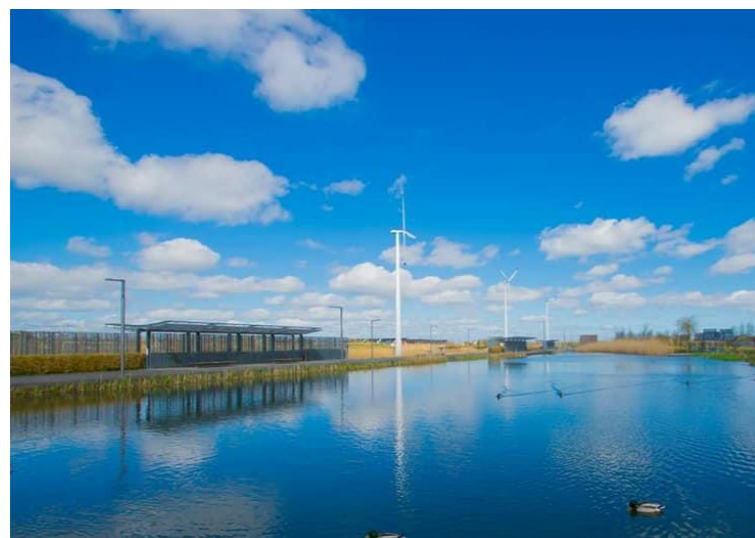


Figure 7.9 - Public Open Space at Fr. Collins Park, Clongriffin



Figure 7.10 - Mayne River Linear Park, Clongriffin



Figure 7.11 - Mayne River Linear Park, Clongriffin



Figure 7.12 - Public Open Space at Station Square, Clongriffin



Figure 7.13- Public Open Space at Belltree Green

8.0 | BLOCK LAYOUT & DESIGN

Block 5 - Design Overview

Block 5 is a c. 0.70 hectare site located at the heart of Clongriffin enclosed by Park Street, Dargan Street, Lake Street and Market Street. Market Street is envisaged as a shared surface space with cycle and pedestrian priority providing a green link between Belltree Park and Station Square.

The block design is comprised of a perimeter block to maintain strong edges to the street network while allowing an inner podium courtyard space for communal amenity space for residents. The southern edge of the block is locally dropped to 3-storeys to maximise sunlight and aspect to the central landscaped podium. Block 5 is designed for residential use with 138 nr. apartments and 502m² of Community, Arts and Cultural Space at ground floor facing onto Market Street.

The LDA propose that at Blocks 5 and 6, 90% of units will be cost rental and 10% will be social units. The 10% social units equates to 41 units and these units are proposed at Block 5 Core 1 in the south east corner of the block. All units meet the full design standards necessary. Within the total 138 units at Block 5, 25% of units will be universal design friendly design.

Residential external communal amenity space is provided at podium level in a shared courtyard 736m² in size. Note this area is measured exclusive of the open grille vents from the car park below. Additional communal amenity space is available to residents at the 4th floor roof terrace overlooking Belltree Park. 143m² is proposed here giving a total of 879m² communal amenity space provided at Block 5.

The Community, Arts and Cultural space along Market Street will contribute to the activity and street life along the busy thoroughfare which will be an important pedestrian and cycle priority link from Fr. Collins Park to Clongriffin Station Square when completed. The community rooms can open out to the generous shared street on Market Street allowing for more scope for community events.

The proposed residential mix is 58 no. 1 bed units, 78 no. 2 bed units and 2 no. 3 bed units. This generates a mix of 40% 1 beds, 58% 2 beds and 2% 3 beds.

Proposed heights range from 3 to 6 storeys. 4 residential cores are located adjacent to the corners of the building. At ground floor the bin and bike stores are adjacent to the core entrances.

Parking is provided for Block 5 residents both on street and off street at ground floor level. The entrance and exit to the off street parking is located on Park Street. The off street parking is covered by a landscaped podium which provides communal amenity space for residents at 1st floor level. 50% of the total parking spaces will be equipped for EV charging and these are located within the off-street parking area. 4 nr. motorcycle spaces are also provided. Residents' bike parking is provided in secure bike storage rooms adjacent to the off street car parking at ground floor level. Within this, cargo bike spaces have also been provided.



Figure 8.1 - Block 5 Ground Floor Plan

Block 5 - Planning History

Block 5 currently has permission for a total of 138 number apartments comprising of 52 number one-beds, 83 number two-beds and three number three-beds in one number building ranging from three to seven storeys in height surrounding one number landscaped podium garden with all apartments provided with private balconies/terraces, and a total of one number communal roof garden at fourth floor level. Ancillary residential amenity facilities are also proposed including concierge, laundry, and resident's amenity and meeting rooms. Block 5 also provides for four number retail units at ground floor level; 54 number car parking spaces at ground floor level accessed via a new vehicular access onto Park Street, 42 number on-street car parking spaces (17 number spaces on Dargan Street and 25 number spaces on Lake Street) and 224 number bicycle spaces (30 number on-street and 194 number at ground floor level).

This was granted under the Strategic Housing Development process by An Bord Pleanála under Reg. ref. ABP-305319-19 in December 2019. This permission also included Blocks 4 and 14 and was referred to as Clongriffin SHD 2. Three concurrent applications were made and granted at the time, the other 2 being referred to Clongriffin SHD 1 and Clongriffin Planning Application. The subject lands in these applications were the remaining unbuilt lands in Clongriffin which were granted permission in 2003 under the parent permission DCC ref. reg. 0132/02 but not developed due to the impact of the following years economic downturn.

The client, the Land Development Agency, has recently purchased the remaining Clongriffin lands which were granted permission in 2019. The intent of this planning application is to seek permission for Blocks 5 and 6 along with Grant Park to allow for their development as cost-rental and social units.

The design massing of Block 5 in terms of height and footprint is broadly unchanged from the granted permission. The primary proposed changes from the granted permission at Block 5 are outlined below:

- Dark grey brick will be revised to a buff coloured brick to provide contrast with the red brick in the elevations.
- Balcony balustrades will be revised from glass to metal.
- Retail units facing on to Market Street will be replaced by Community, Arts and Cultural space.
- 25% of all residential units will be Universal Design friendly.
- Set back penthouse at 6th floor level to be omitted.
- 5th floor units to the east of the block on Lake Street revised to simplify structure and accommodate lower building height without loss of units.
- Omission of pergola at roof terrace and western elevation of Block 5.
- Reduction in the total area of communal amenity space at 4th floor roof terrace.



Figure 8.2 - View of Block 5 as per approved SHD 2 (ABP-305319-19) from junction of Market Street and Lake Street



- 5th floor penthouse revised
- Glazed balustrades changed to metal
- Dark grey brick revised to buff coloured brick
- Retail units replaced with Community, Arts & Cultural Space

Figure 8.3 - Proposed view of revised Block 5 from junction of Market Street and Lake Street

8.0 | BLOCK LAYOUT & DESIGN

Balconies and living room windows on the northwest corner are dual aspect, overlooking and supervising both Belltree Park and Dargan Street.



Apartments on the northeast corner of Block 5 have a stepped plan that allows their dual aspect living rooms to see Grant Park on the corner of Lake Street and Dargan Street, while still respecting the privacy of the neighbouring apartments.

Belltree Park



Grant Park

Landscaped podium
736 sqm

- LEGEND:**
- 1-bed Apartment
 - 2-bed/ 4person Apartment
 - 3-bed/ 5person Apartment
 - 2-bed/ 4 person UD Apartment

Figure 8.4 - Block 5 First Floor Plan

Angled window to bedroom of adjacent apartment to ensure balcony privacy.



Figure 8.5 - CGI of Block 5: View of north east corner on Lake Street and Grant Park.



Figure 8.6 - Verified view montage looking west with Grant Park in foreground and Blocks 5 and 6 behind.

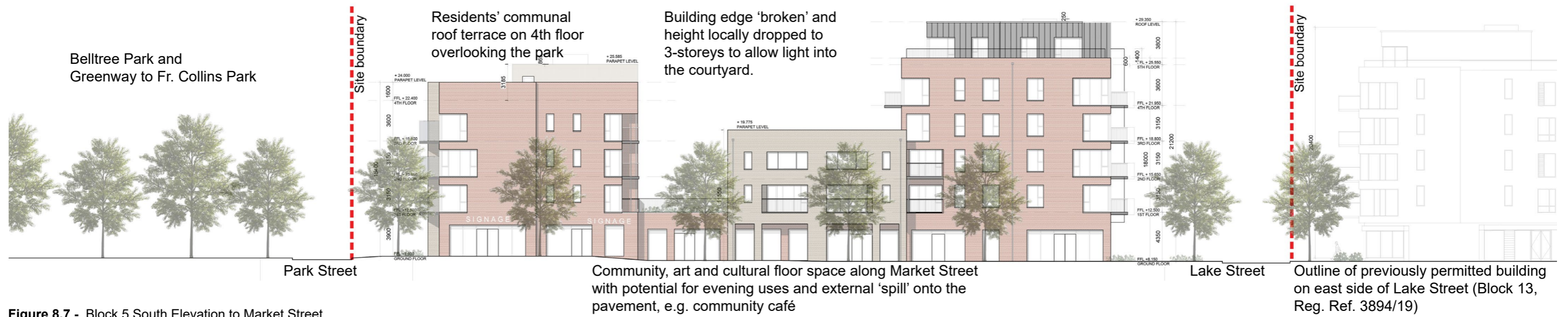


Figure 8.7 - Block 5 South Elevation to Market Street



Figure 8.8 - Block 5 West Elevation looking onto Belltree Park



Figure 8.9 - Block 5 - view along Market Street looking east towards Station Square



VIA View 2 Proposed - Looking East of Belltree Park. featuring Blocks 6 and 5 in the background, with existing 3 storey houses and Belltree Park in the foreground.



VIA View 4 Proposed. - Looking East, along Park Terrace North with Block 5 in the background, and the existing 3 storey houses in the foreground.

8.0 | BLOCK LAYOUT & DESIGN

Block 6 - Design Overview

Block 6 is a c.1 hectare site located at the heart of Clongriffin bounded by Park Street, Belltree Avenue, Lake Street and Dargan Street. Grant Park is a pocket park proposed to be located on the south east corner of the Block 6 site and will provide public open space as well as the completion of Dargan Street between Park Street and Lake Street.

The block design is comprised of 5 individual blocks wrapped around a central courtyard space. This creates a secure podium courtyard space designed as communal amenity space for the buildings residents. Each individual block is organised around a central core with a group of 5 apartments offset from each other at either side of the core. This design maximises opportunities for dual aspect units and breaks down the scale and mass of street elevations, providing interest and variety in the streetscape.

Building heights range from 4 to 7-storeys in response to the existing context with the lower 4-storey shoulder located on Belltree Avenue and Park street opposite the existing terraced houses.

Block 6 is designed for residential use with 270 no. apartments and 707 sqm of Community, Arts and Cultural Space at ground floor on the corner of Dargan Street and Lake Street adjacent to Grant Park. A creche with adjacent play garden is proposed on the north west corner of Park Street and Belltree Avenue. The creche can accommodate up to 99 children.

The LDA propose all of the apartments within Block 6 to be cost rental. The 41 social units proposed at Block 5 will constitute 10% of the total units proposed at both blocks. All units meet the full design standards necessary. Within the total 270 units proposed at Block 6, 30% of units will be universal design friendly design.

Residential external communal amenity space is provided at podium level in a shared courtyard 2678 m² in size. This equates to over one and a half times the communal amenity space required and will provide safe overlooked play space for children also. This usable area is measured exclusive of any open grille vents from the car park below.

The majority of the Community, Arts and Cultural space for Block 6 is located at the southeast corner where it is visible and accessible from the town centre and where it can create a synergy with Grant Park. The creche is located on the northwest corner on a quieter, more residential street.

The proposed residential mix is 122 no. 1-bed units and 148 no. 2-bed units. This generates a mix of 45% 1-beds and 55% 2-beds.

Parking is provided for Block 6 residents both on street and off street at ground floor level. The entrance and exit to the off street parking is located on Lake Street at the north east side of Block 6. The off street parking is covered by a landscaped podium which provides communal amenity space for residents at 1st floor level. 50% of the total parking spaces will be equipped for EV charging and these are located within the off-street parking area. 9 nr. motorcycle spaces are also provided. Bike and bin stores are located at ground level adjacent to the circulation cores. Resident's bike parking is provided in secure bike storage rooms adjacent to the off street car parking at ground floor level. Within this, space for cargo bikes and trailers have been provided.



Figure 8.9 - Block 6 Ground Floor Plan

Block 6 - Planning History

Block 6 currently has permission for a total of 270 number build to rent apartments comprising of 123 number one-beds and 147 number two-beds in five number buildings ranging from four to seven storeys in height surrounding one number landscaped podium garden with all apartments provided with private balconies/terraces, and a total of five number communal roof gardens at fourth, fifth and sixth floor level. Ancillary residential amenity facilities are also proposed including concierge, office, resident's amenity/meeting rooms; resident's gym, cinema room, function room, maintenance suite and stores. Block 6 also provides for one number crèche with associated outdoor play area at ground floor level with one number pocket park to the south east of Block 6 (Grant Park), 119 number car parking spaces at ground floor level accessed via a new vehicular access onto Lake Street, 65 number on-street car parking spaces (8 number spaces on Lake Street, 29 number spaces on Belltree Avenue, 10 number spaces on Park Street, 18 number spaces on Dargan Street) and 572 number bicycle spaces at ground floor level.

This was granted under the Strategic Housing Development process by An Bord Pleanála under Reg. ref. ABP-305316-19 in December 2019. This permission also included Blocks 8,11,17, 25, 26, 27, 28 and 29 and was referred to as Clongriffin SHD 1. Three concurrent applications were made and granted at the time, the other 2 being referred to Clongriffin SHD 2 and Clongriffin Planning Application. The subject lands in these applications were the remaining unbuilt lands in Clongriffin which were granted permission in 2003 under the parent permission DCC ref. reg. 0132/02 but not developed due to the impact of the following years economic downturn.

The client, the Land Development Agency, has recently purchased the remaining Clongriffin lands which were granted permission in 2019. The intent of this planning application is to seek permission for Blocks 5 and 6 along with Grant Park to allow for their development as cost-rental and social units.

The design massing of Block 6 in terms of height and footprint is unchanged from the granted permission. The primary proposed changes from the granted permission at Block 6 are outlined below:

- Dark grey brick will be revised to a red coloured brick to provide contrast with the buff brick in the elevations.
- Ancillary resident's facilities designed for the former Built to Rent use will be replaced by Community, Arts and Cultural space
- 30% of all residential units will be Universal Design friendly
- Roof terraces at the 5 individual blocks at Block 6 which were intended for Built to Rent resident's amenity space will be omitted. The generously sized podium landscaped resident's amenity space will be retained.
- Revised unit layouts at 5th and 6th floor penthouse units to align with floors below. This removes 5th floor penthouse terraces overlooking houses on Park Street and reduces the massing along here.



Figure 8.11 - View of Block 6 as per approved SHD 1 (ABP-305316-19) from junction of Lake Street and Dargan Street



Figure 8.12 - Proposed view of Block 6 from junction of Lake Street and Dargan Street

Dark grey brick in previous design revised to red coloured brick

8.0 | BLOCK LAYOUT & DESIGN



Figure 8.13 - Block 6 First Floor Plan



Figure 8.14 - CGI of Block 6: View of south east corner on Lake Street from Grant Park.



Figure 8.15 - CGI of Block 6: View of south east corner on Lake Street and Dargan Street.

Block 6 - Existing Context

Consideration has been given to ensure that the height and mass of Block 6 does not create a negative and unreasonable impact on existing terraced housing located on Park Street and Belltree Avenue.

The building shoulder along the north and western elevations of the block has been dropped to 4- and 5-storeys to minimise impact and overshadowing.

Small residential roof gardens on the corners of each core have been omitted, again to minimise overlooking and also any potential for noise nuisance from Block 6. These roof gardens were secondary spaces to the central courtyard and are not required to meet the communal open space requirements in terms of area, which is comfortably exceeded by the courtyard, or for amenity in terms of daylight and sunlight.

The grey brick originally permitted for Block 6 is proposed to be replaced with a softer, warmer red brick in consideration of the visual impact and the appearance of Block 6 viewed from the terraces.

Terraces on Park Street are a minimum of 22m from the western facade of Block 6, widening out to 30.3m in the middle of the block.

Terraces on Belltree Avenue are between 27.3 and 30.8m away from the northern facade of Block 6, with pinch-points at the ends of the terrace of 16.8m and 19.6m.

The proposed development has been analysed for the daylight and sunlight impact on the existing dwellings. This analysis has concluded that the private amenity spaces (rear gardens) of the terraced houses are unaffected by the new development. There will be an impact on the amount of 'vertical sky component' that each of these houses currently has, looking out across an empty site, and this is plainly going to be reduced by any new development.

It is considered that additional mitigation measures in dropping the building shoulder and by omitting communal roof gardens will lessen the impact of Block 6 on the terraced houses. The completion and occupation of the Block 5 and 6 sites will provide street level activity, passive surveillance of residential streets and spaces, replace an unsightly fenced-off construction site with a quality residential scheme, completion of roads, footpaths and street-tree planting, and create direct access between Belltree and the town centre via Dargan Street. VIA views on the following pages illustrate this.

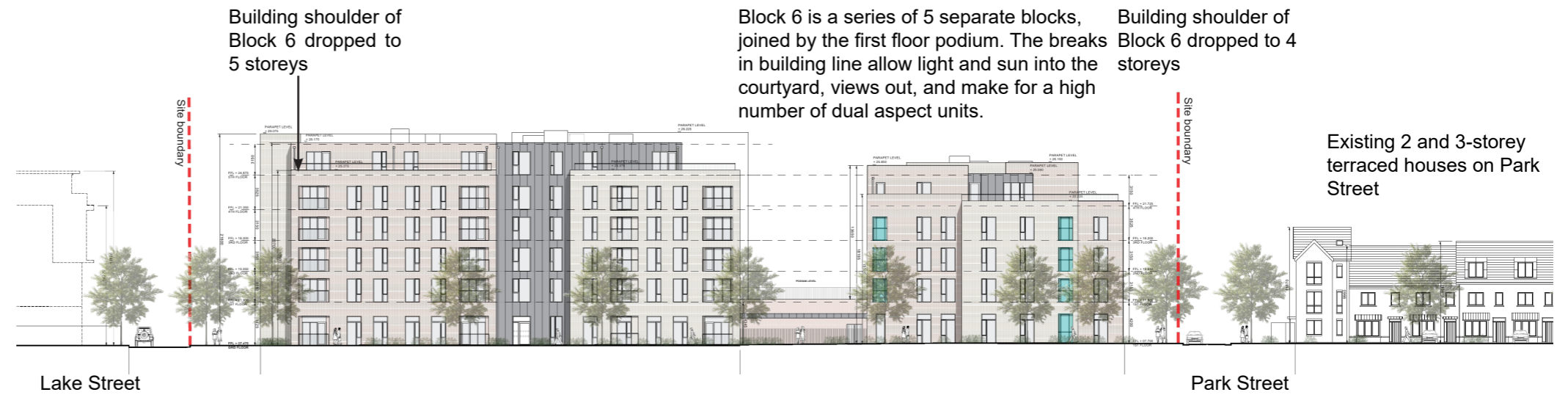


Figure 8.16 - Block 6 North Elevation on Belltree Avenue showing height and massing reduction to west of block at Park Street



Figure 8.17 - Block 6 Section H-H showing height and massing reduction to north across Belltree Avenue

8.0 | BLOCK LAYOUT & DESIGN

Block 6 - Existing Context



Figure 8.18 - Key plan of verified views of Block 6 in existing context



VIA View 1 Existing. - From Clongriffin Road west of the proposed Grant Park.



VIA View 1 Proposed. - From Clongriffin Road west of the proposed Grant Park. featuring Blocks 6 and 5 in the background, with Grant Park in the foreground.



VIA View 3 Existing - Existing View looking South of Belltree Lane



VIA View 3 Proposed - Looking South of Belltree Lane, featuring Blocks 6 and 5 in the background, with existing 2 - 2.5 storeys houses in the foreground.



VIA View 13 Existing - Existing View looking west at Belltree Avenue



VIA View 13 Proposed - Looking west at Belltree Avenue, featuring existing 3-storey houses to the north and proposed Block 6 stepping down to four and five storey shoulder at northern elevation.

8.0 | BLOCK LAYOUT & DESIGN



VIA View 14 Existing - Existing View looking east at Belltree Avenue



VIA View 14 Proposed - Looking east at Belltree Avenue, featuring Block 6, with existing 2 - 2.5 storeys houses in the foreground.



VIA View 16 Existing - Existing View looking north at Park Street



VIA View 16 Proposed - Looking north at Park Street, featuring existing 2.5 and 3-storey houses to the north and proposed Block 6 stepping down to four storey shoulder at west elevation of Block 6A.

Residential Tenure Mix

90% of the development is proposed to be cost-rental and 10% will be Part V social housing.

10% of the 408 dwellings is 41 units, and these will be located within Block 5, Core 1 which comprises 26 no. 2-beds and 15 no. 1-beds. Of these, some 13 no. 2-bed apartments are Universal Design and 3 of these are own-door units at ground level.

Part V units will share the same communal amenity space at podium level and communal 4th floor roof terrace. Part V residents will have the same access to the car park, bike stores, bin stores at ground level, and they will have the exact same specification both inside and outside as the rest of the block - they will be tenure-blind from the outside.



Figure 8.19 - Site Layout showing location of Block 5 Core 1 Part V units



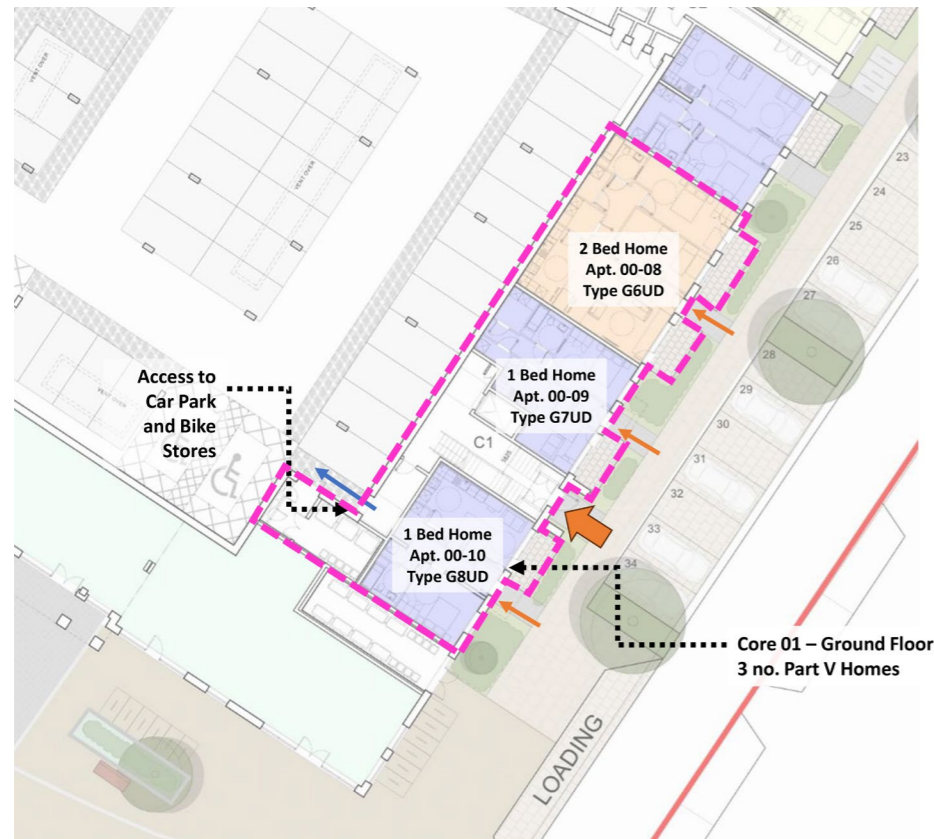
Figure 8.20 - Block 5 first floor plan with Core 1 Part V units highlighted. Part V residents have direct access to the podium level communal amenity space as well as access to the 4th floor roof terrace.



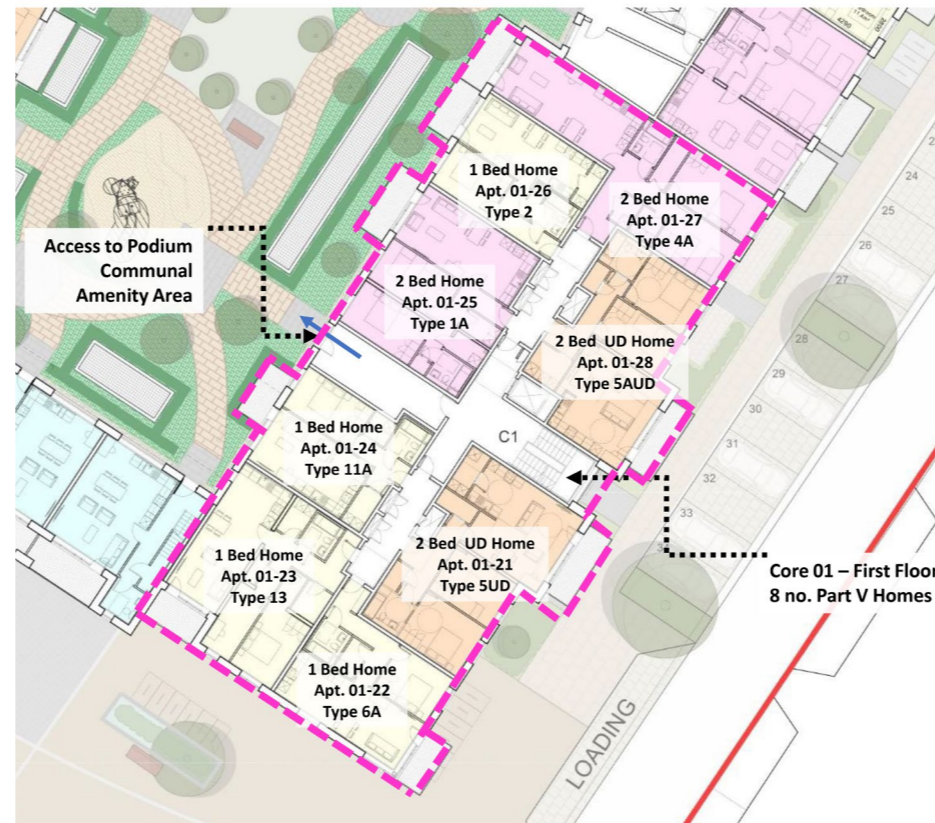
Figure 8.21 - View of Block 5 Core 1 where Part V units are located at a prominent corner of the scheme facing on to Market Street and Lake Street.

8.0 | BLOCK LAYOUT & DESIGN

Social Units at Block 5



Ground Floor Plan



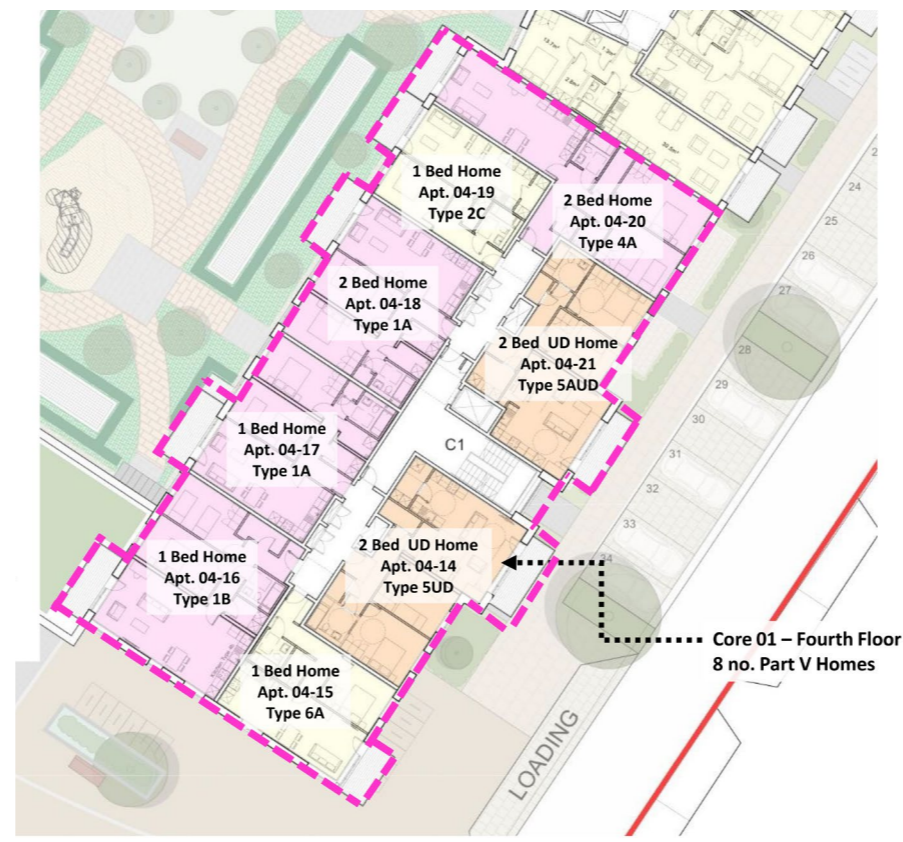
First Floor Plan



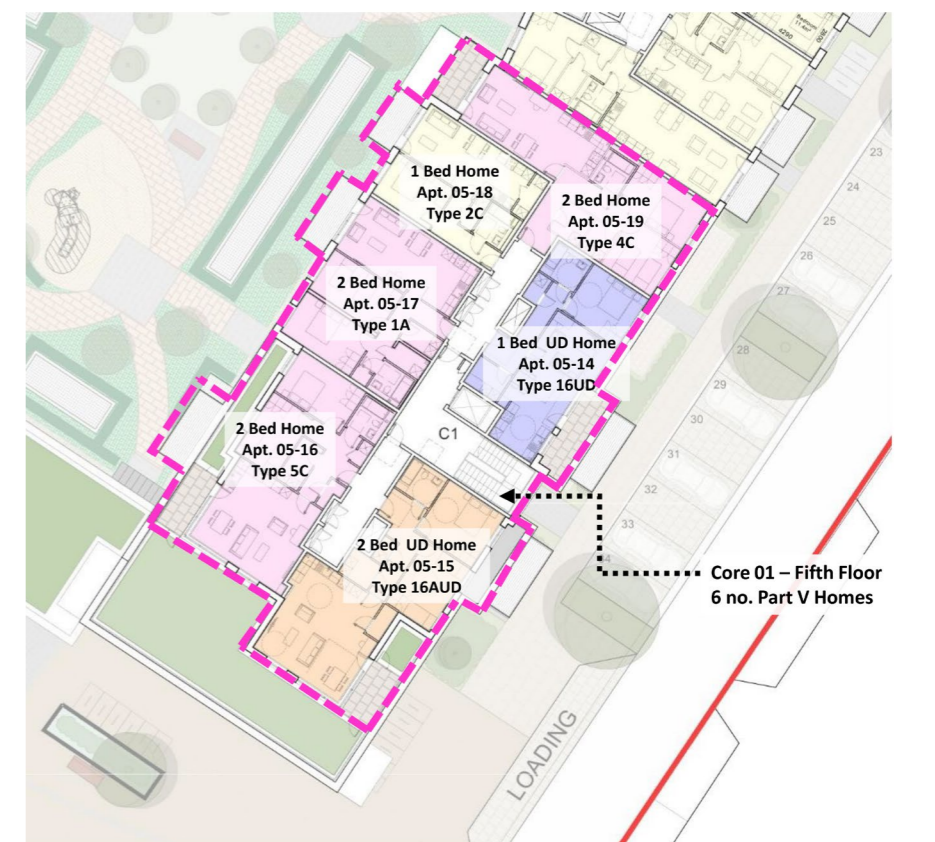
Second Floor Plan



Third Floor Plan



Fourth Floor Plan



Fifth Floor Plan

Community, Arts and Cultural Space

Community, Arts and Cultural uses are incorporated at ground floor of both buildings on key thoroughfares within Clongriffin along with the proposed external Community, Arts and Cultural Space at Market Street.

Objective CUO25 of the DCC Development Plan 2022 - 2028 states that: *All new regeneration areas (SDRAs) and large scale developments above 10,000 sq. m. in total area* must provide at a minimum for 5% community, arts and culture spaces including exhibition, performance, and artist workspaces predominantly internal floorspace as part of their development at the design stage. The option of relocating a portion (no more than half of this figure) of this to a site immediately adjacent to the area can be accommodated where it is demonstrated to be the better outcome and that it can be a contribution to an existing project in the immediate vicinity. The balance of space between cultural and community use can be decided at application stage, from an evidence base/audit of the area. Such spaces must be designed to meet the identified need.*

**Such developments shall incorporate both cultural/arts and community uses individually or in combination unless there is an evidence base to justify the 5% going to one sector.*

At Block 5, Market Street which runs to the south of the block is intended as a key pedestrian and cycle link between Belltree Park and Station Square. The Community, Arts and Cultural (CAC) uses are sited at ground floor level along Market Street at Block 5 to maximise their prominence and signal the new facilities which will benefit the community as a whole. Although the space at Block 5 is shown as a single space it can be subdivided into smaller units for use as artists studios and for community groups. A community cafe at the corner of Market Street and Park Street would provide animation into the evening time here. The LDA have liaised with DCC Community Arts Officer and carried out an existing Community and Social Infrastructure Assessment to establish a suitable mix of proposed community uses to satisfy local needs. It is also the intention that the CAC space along Market Street will be flexible for a mix of evening uses with a public face in the evenings allowing activation of Market Street. The external CAC space along Market Street could accommodate markets and special community events that might spill out from the adjacent community, arts & cultural amenities indoor spaces.

At Block 6, the Community, Arts and Cultural uses are sited to the south side of the block along Dargan Street making them easily accessible to the community within Clongriffin and in close proximity to Grant Park.



Figure 8.22 - View to Community, Arts and Cultural Spaces at Block 5 on Market Street - formerly retail use in approved SHD 2 (ABP-305319-19)

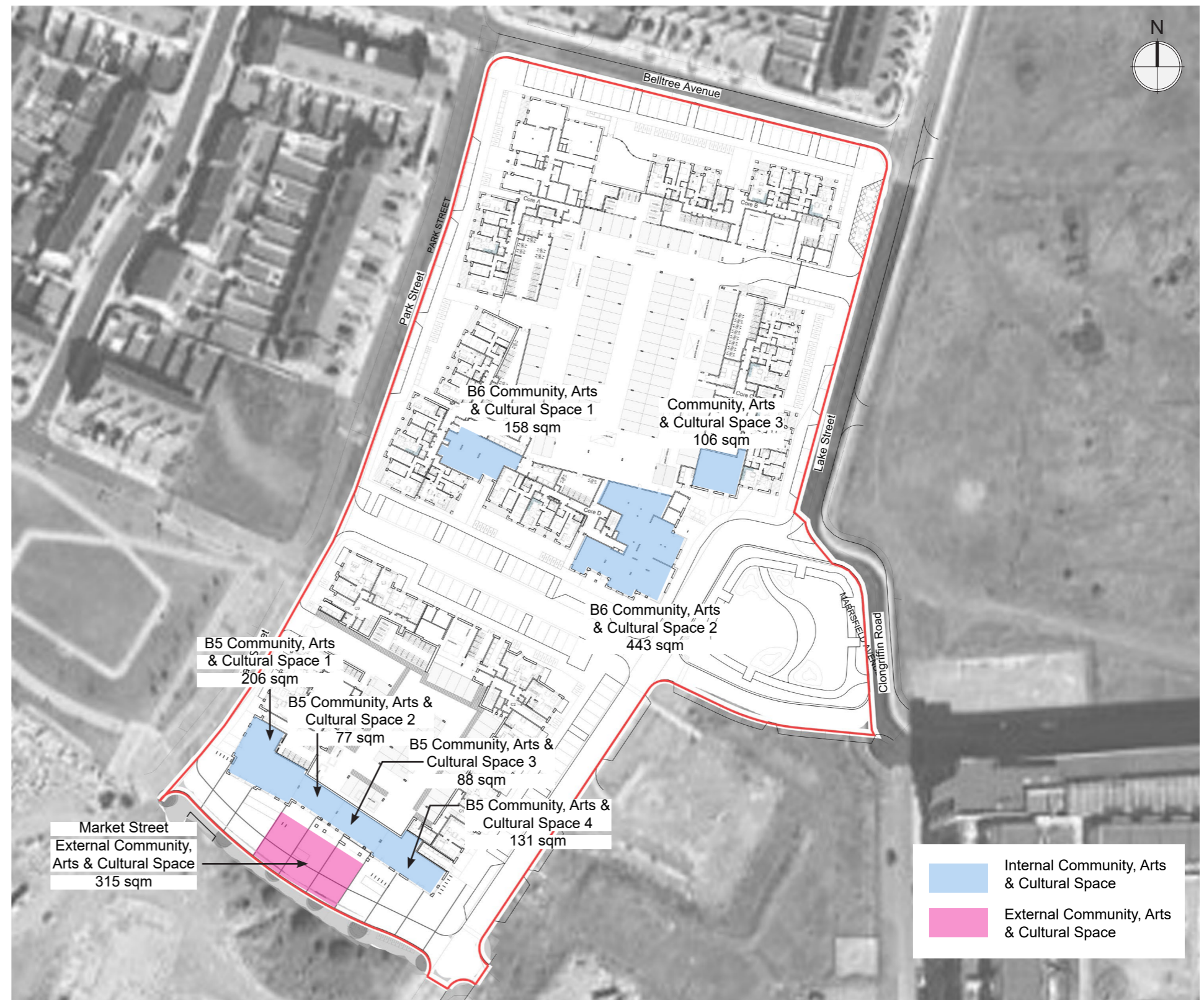


Figure 8.23 - Location of Community, Arts and Cultural Spaces at Blocks 5 and 6

8.0 | BLOCK LAYOUT & DESIGN

A total of 1,209 sqm of internal Community, Arts and Culture space is proposed at ground floor level of Blocks 5 and 6 along with a further 315 sqm of external Community, Arts and Culture space at Market Street which equals a total of 5.3% of the net residential floor area.

A full Community and Social Infrastructure Assessment has been carried out and submitted as part of the planning application. The baseline results of the audit support the provision of 3% of the allocated C.A.C space for Arts and Culture uses with the remaining 2% being used for community uses. The CSIA found a need for childcare provision, medical services and youth services under the assessment of community facilities. Having regard to the lack of Arts and Cultural facilities within the study area, there is a strong likelihood that demand exists for a variety of Arts and Cultural uses, which could include Performing Arts, such as dance studios or recording studios; Studio Arts, such as Fine/Visual Art, Illustration, Craft and Design; Media Arts, such as Film and Animation; and Creative Office Professions, such as Architects, Photo Studios and Literature.

Net Residential Floor Area	28,764 m ²
5% Provision Required	1,438 m ²
Area of Community, Arts & Culture Provided	1,524 m ² (5.3%)

Table 8.2 - Calculation of Community, Arts and Culture Spaces Required

Internal C.A.C Spaces	Area
Block 5 Community, Arts & Culture 1	206 m ²
Block 5 Community, Arts & Culture 2	77 m ²
Block 5 Community, Arts & Culture 3	88 m ²
Block 5 Community, Arts & Culture 4	131 m ²
Block 6 Community Arts & Culture 1	158 m ²
Block 6 Community Arts & Culture 2	443 m ²
Block 6 Community Arts & Culture 3	106 m ²
Subtotal:	1,209 m² (4.2%)
External C.A.C Spaces	Area
Market Street Event Space	315 m ²
Subtotal:	315 m² (1.1%)

Table 8.3 - Provision and Location of Community, Arts and Culture Spaces



Figure 8.24 - Community, Arts & Cultural space at Block 5 fronting onto Market Street

Community, Arts and Cultural Space (cntd.)



Figure 8.25.0 - Community, Arts & Cultural space at Block 6 fronting onto Dargan Street

Community, Arts & Cultural Space			Possible Uses	
	TFA (sqm)	% total net resi.	Community	Arts & Culture
Block 5				
Community, Arts & Cultural 1	206	0.7%		Dance Studios
Community, Arts & Cultural 2	77	0.3%		Recording Studios
Community, Arts & Cultural 3	88	0.3%		Recording Studios
Community, Arts & Cultural 4	131	0.5%		Creative Office Professions
Market Street External C.A.C. Space	315	1.1%	Community Market / Event Space	
Block 6				
Community, Arts & Cultural 1	158	0.5%		Media Arts (Film Animation)
Community, Arts & Cultural 2	443	1.5%	Youth Centre	
Community, Arts & Cultural 3	103	0.4%		Media Arts (Film Animation)
Total	1209	5.3%	2.6%	2.7%



Figure 8.25.1 - Community, Arts & Cultural space at Block 5 fronting onto Market Street.

8.0 | BLOCK LAYOUT & DESIGN

External Community, Arts & Culture Space

The design intent of Market Street has always been led by the guiding design principle of providing a pedestrian and cycle friendly link between Belltree Park and Station Square. The street design is a high quality shared surface of paving stones and raised tables at junctions to demarcate it as a low trafficked street. With the internal Community, Arts and Culture rooms sited along the ground floor of Block 5 facing onto Market Street, the siting of external event space here provides a unique opportunity to allow for temporary street take-over by the local community for markets and events.

The area intended for event space is demarcated by contrasting paving bands. It is proposed to site smooth steel studs along the event space area which can be employed for utility points, sockets and anchor points for posts to support canopies etc. The event space would be ideal as market space or for street performance workshops. It could be used during both day time and in the evening time to promote active community use at all times of the day in tandem with the internal Community, Arts and Culture spaces. Road closures could easily be coordinated to accommodate when necessary.



Figure 8.27 - Artist's impression of External Community, Arts & Cultural event space at Market Street

Future Development Site

Figure 8.26 - Block 5 Ground Floor Plan showing External Community, Arts & Cultural event space at Market Street



Figure 8.28 - Artist's impression of External Community, Arts & Cultural event space at Cherry Orchard Point, Dublin

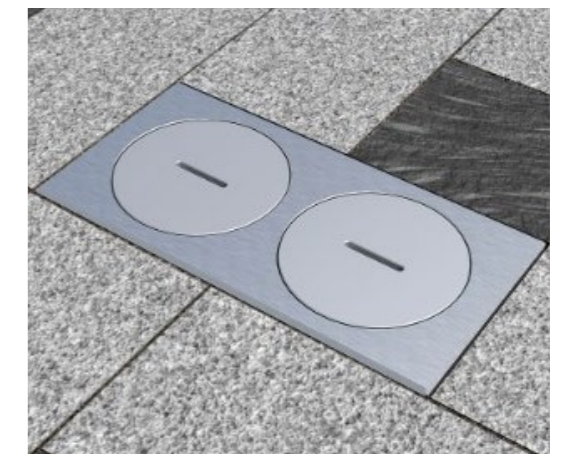


Figure 8.29 - Utility points within paving bands

Creche

The creche at Block 6 is located at the corner of Park Street and Belltree Avenue. Its central location adjacent to the existing Belltree housing developments will be a community resource for both new and existing residents in Clongriffin.

The creche layout has been designed with 5 rooms for children aged 1 - 6 years as well as ancillary support rooms for staff. The building is generally set back from the footpath which makes for a safe and secure access for the attending children. A secure outdoor play area of 125 m² is located to the east of the creche. Dedicated bike parking spaces for staff and parents are located via Sheffield stands adjacent to the creche entrance off Park Street.

The creche has capacity for 99 children in full day care and can be used for both sessional and after-school care if required. The room areas and calculation of the number of children who can be accommodated are based on Child Care Act 1991 (Early Years Services) (Registration of School Age Services) (Amendment) Regulations 2022.

The creche play area has been re-designed from the design submitted for the LRD consultation to ensure that over 50% of the area receives sunlight for 2 hours on March 21st. This analysis has been included in Delap & Waller's Daylight and Sunlight Report submitted as part of this application. Its enclosure has been designed to maximise privacy to the adjacent ground floor unit 6-00-11 and its terrace to the east. Straight flat bar metal fencing in a curved arrangement will allow views out while blocking oblique views in from passers-by.



Figure 8.31 - Block 6 North Elevation on Belltree Avenue, Creche and play area outlined in Red.



Figure 8.30 - Creche at ground floor of Core A, Block 6



Figure 8.32 - Creche layout at Block 6

8.0 | BLOCK LAYOUT & DESIGN

Aspect Ratios

SPPR4 of the Design Standards for New Apartments (2023) requires >33% of a development close to high-quality public transport to be dual aspect. DCC Development Plan section 15.9.3 states that:

Dublin City Council will encourage all developments to meet or exceed 50% dual aspect within the development unless specific site characteristics dictate that a lower percentage may be appropriate.

The DCC Development Plan provides examples of unit configurations that are considered dual aspect, e.g. floor plans that provide openable windows on two elevations, and examples of unit configurations that are not considered dual aspect, e.g. apartments with opposing windows considered too close to each other to comply. The dimension noted as being 'too close' is 4m, and no other minimum dimension is referenced.

Core B of Block 6 has a wider circulation core which separates the opposing windows of two apartments by 7.5m, almost twice the dimension noted in the Development Plan as being too close.

It is considered that the separation distance, the rotation of the block clockwise from due north by 13.8 degrees and the provision of large openable windows on two sides of the living room classifies these apartments as being dual aspect. However, some of the dual aspect apartments have more than 50% of their aspect within a 45 degree angle of due north. These units are identified in Appendix A of this report and compensatory aspects of these units are identified.

240 of the 408 proposed apartments at Blocks 5 and 6 are dual aspect which equates to 58.8%. There is one north-facing single aspect apartment located at ground floor adjacent to the creche play area, however high level windows are employed as a compensatory measure. As noted above this is discussed in detail in Appendix A.

The Housing Quality Assessment for each block submitted as part of this application note aspect and orientation for all units.

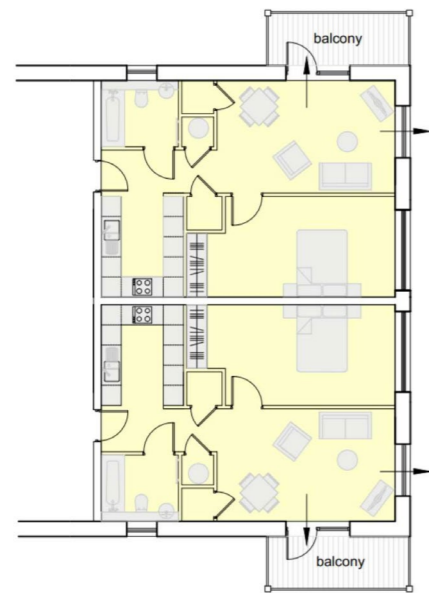


Figure 8.33 - Extract from Dublin City Development Plan Fig 15.2: Example of Dual Aspect Residential Development

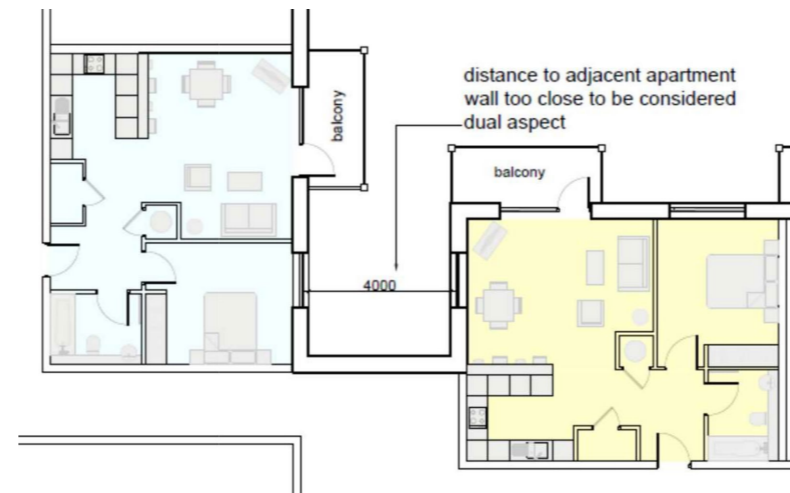


Figure 8.34 - Extract from Dublin City Development Plan Fig 15.4: Residential Unit that Does Not Qualify as Dual Aspect - Example 2. A distance of 4m is deemed non-compliant. No minimum distance is cited.



Figure 8.35 - Block 5 first floor plan with dual aspect units highlighted in blue.



Figure 8.36 - Block 6 first floor plan with dual aspect units highlighted in blue.

LRD Opinion - Units 24, 25 and 26

Block 5 - Units 24, 25 and 26

These units were highlighted in the LRD Opinion as northwest facing units. The Opinion stated:

As stated within the Architectural Design Statement; Over 60% of the apartments are dual aspect and there are no single aspect north-facing apartments. However, it is noted that details on the aspect and orientation were not included as part of the HQA and it is considered that the proposal appears to include a number of single aspect north-east and north-west facing units which were not addressed within the Stage 2 LRD Opinion submission received 21st May 2024. For example, at Block 5 Units 05-01-24, 05-01-25, and 05-01-26 are single aspect north-west facing units (repeated to upper floors). Additionally, it is considered that the KLD window of 1- bed unit 05-01-26 (unit repeated to upper floors) is within a 45 degree angle of due north. These units overlook the internal courtyard and, as shown within the Daylight/Sunlight Impact Assessment, the KLD's appear to fail to meet the BRE 209 Guidance. Orientation and aspect should be stated within the HQA and the compensatory measures for any units failing the Daylight/Sunlight Impact Assessment shall be listed or preferably addressed by a redesign.

The diagram adjacent illustrates that these units are orientated 57 degrees west of due north so fall within a west-northwest orientation single aspect unit. The KLD window of Unit 05-01-26, in fact does not fall within a 45 degree angle of due north as noted in the LRD opinion. This is highlighted in the diagram below also. It is orientated 57 degrees west of due north.

The compensatory measures associated with aspect of these units are highlighted individually in Appendix A of this report. Compensatory aspects in relation to the Daylight/Sunlight Impact Assessment of these units are listed in the Delap and Waller Daylight and Sunlight impact Assessment.



Figure 8.37 - Block 5 First Floor Key Plan

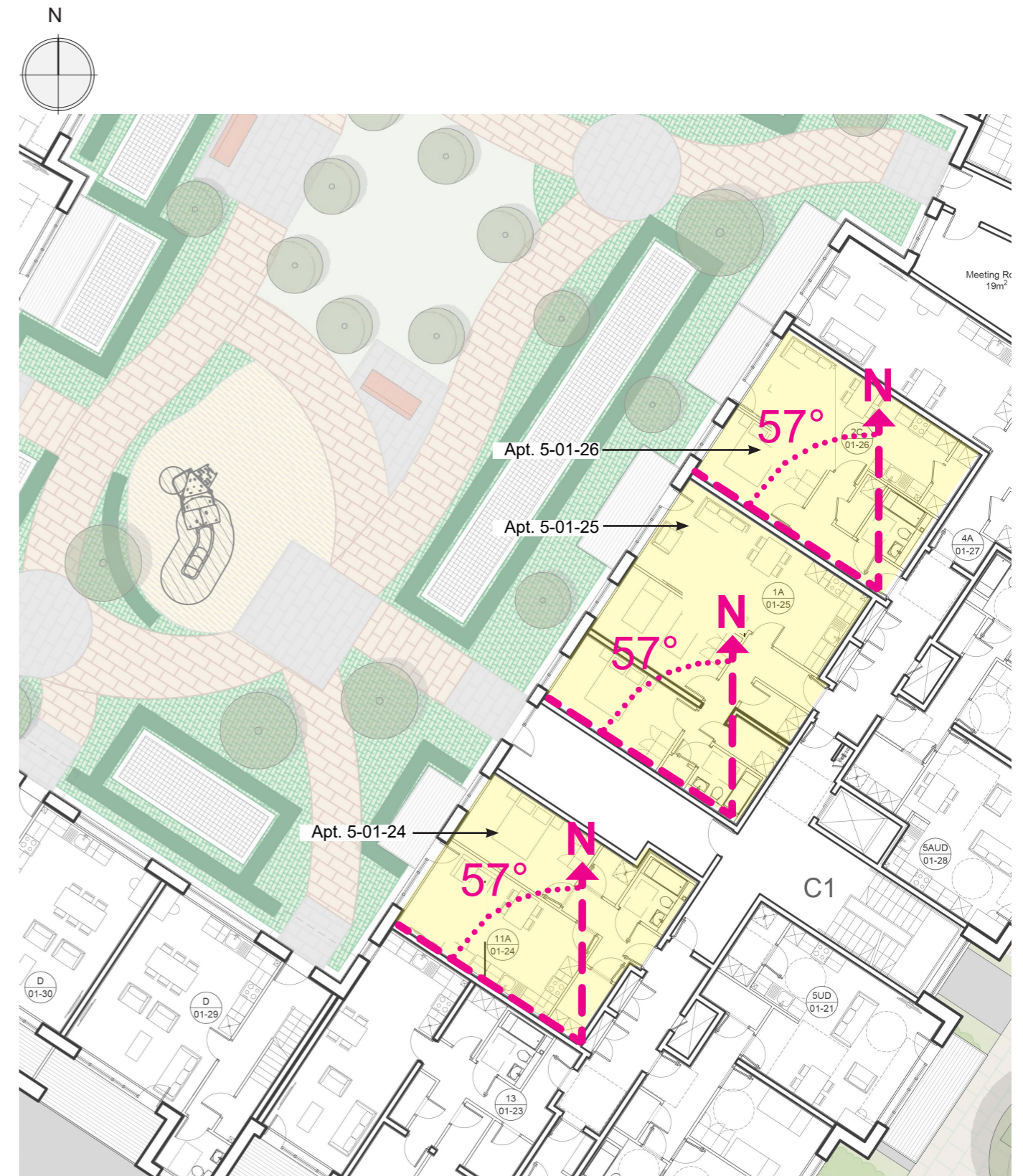


Figure 8.38 - Block 5 First Floor Plan With Units 01-24, 01-25 and 01-26 highlighted.

9.0 | PUBLIC & COMMUNAL OPEN SPACE

Overview of Public and Communal Amenity Space

The landscape design is similar to the previous approved landscape schemes for Blocks 5 and 6 and Grant Park. Public open space is provided at Grant Park. Communal amenity space for Block 5 residents is provided at first floor podium courtyard and 4th floor roof terrace while Block 6 residents can enjoy a large podium courtyard for communal amenity space.

Grant Park will be a new public park that will serve both residential blocks as well as the wider neighbourhood of Clongriffin. 1433sqm of public open space will be provided here.

Market Street is a key pedestrian and cycle priority link within Clongriffin, designed as a low traffic street. A raised table, tree planting, mixed shrub planted areas, seating and a sunny aspect make for a pleasant street. The landscape design here is designed to accommodate external Community, Arts and Cultural Space. This will allow a synergy of uses to flow from the internal community, arts and cultural spaces along the south front of Block 5 facing Market Street. The outdoor space could be used for performance space or external workshop areas connected to the final use of the space.

The communal amenity space within each block will be secure and accessible to residents only via the circulation cores. The landscape design at each of the podiums accommodates seated areas, planting and play space for children. Block 5 is smaller in scale than the Block 6 plot and has a secondary communal amenity space at roof level overlooking Belltree Park.

Private terraces at podium level and ground level are protected by defensive planting and railings. Street tree planting is incorporated within the on-street parking areas. The SuDs approach will be fully integrated between the landscaping and engineering consultants with tree pits, rain gardens and permeable paving at the on-street parking areas.



Figure 9.1 - Quality public realm at Market Street



Figure 9.2 - Site Layout Plan showing locations of Public Open Space and Communal Amenity Space

Public Open Space - Grant Park

Grant Park will be a new public park 1433 sq.m. in size centrally located within Clongriffin. The planting scheme is designed to create a tranquil space with opportunities to stop off enroute to the town centre or meet neighbours close to home for the new and existing residents. It will fit into the existing green network in Clongriffin which includes Station Square, Belltree Park, Belltree Green, River Mayne Linear Park and Fr. Collins Park.

Materials are chosen to be robust and durable. The hard landscape at the entrance and adjacent to seated areas will be natural grey concrete setts with beige tarmacadam paths through the park. A 1.2 metre high estate railing will surround the park. Low shrub planting at the park edges will allow for passive surveillance between the park and surrounding streets to maximise safety and security for park users. Tree planting includes holm oak, scots pine and coast redwood creating the feel of an urban oasis. The landscape design features open lawns for recreation, shaded seating areas for relaxation and native shrub planting for biodiversity and seasonal interest. Thoughtfully designed pathways ensure smooth connectivity with the existing and proposed residential blocks. The design creates a welcoming, functional extension of the residential community, promoting health and well-being. Full details of the landscape design for Grant Park can be found in RMDA landscape architects pack.



Figure 9.4 - Plan view of Grant Park



Figure 9.3 - Verified View Montage 1 showing Grant Park viewed from Clongriffin Road with Blocks 5 and 6 beyond.

9.0 | PUBLIC & COMMUNAL OPEN SPACE

Quantitative Assessment of Communal Amenity Space

Communal amenity space for residents, provided in the form of landscaped courtyards at first floor podium level, is separate to public open space and is quantitatively assessed below in Table 9.1. Note that communal amenity space areas at podium level are calculated exclusive of open car park vents.

	Area Proposed (m ²)	Area Required (m ²)
Block 5 - Communal Amenity Space 01	736	854
Block 5 - Communal Amenity Space 02	143	
Block 6 - Communal Amenity Space 03	2678	1646
Total	3557	2500

Table 8.1 - Communal Amenity Space Schedule

All – Ireland Pollinator Plan

The design team fully support the objectives of the All-Ireland Pollinator Plan. This is a shared plan of action that allows businesses, communities, local authorities, councils and all public and private bodies to take collective steps to help restore and protect pollinator populations.

The scheme site layout and the landscape plan follow the All-Ireland Pollinator planting code through the inclusion of pollinator friendly street trees and tree planting, shrub and ground cover planting, and green roofs. The planting specification includes specimens that will flower throughout the year from spring to autumn, prioritises native planting and chooses pollinator friendly species of horticultural and ornamental planting.

Architectural measures, such as the introduction of ‘bee bricks’ on suitable walls and at the right height, orientation and location, can make a small contribution in support of the plan.

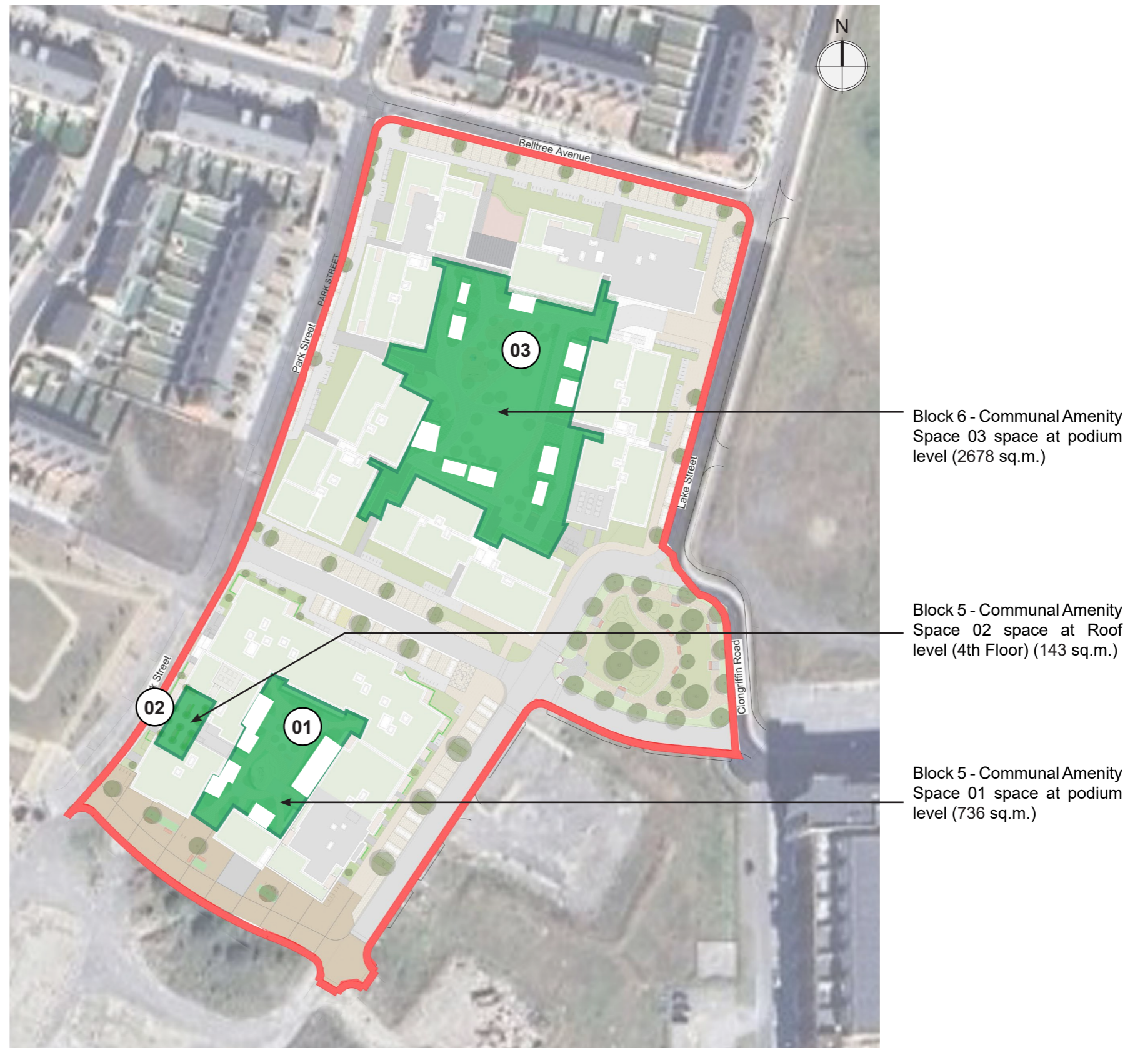
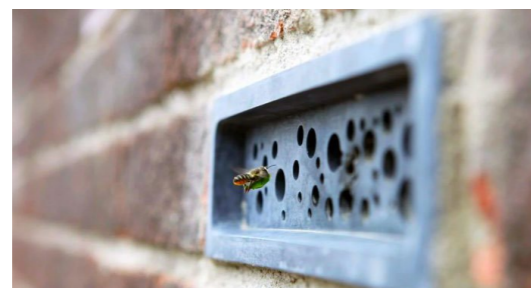


Figure 9.5 - Communal Open Space Diagram

Qualitative Assessment of Communal Amenity Space

Block 5 Communal Amenity Space - Design Evolution

The design of the Block 5 podium level communal amenity space was revised following feedback received at the initial consultation meeting with the planning authority.

Great care has been taken with the revised landscape design at Block 5 to ensure a high quality amenity space will be available to residents at both the podium and rooftop spaces. Although the scale of the block is much smaller than Block 6, a similar approach is taken with the podium vents from the car park below which are located at the periphery of the space. Different types of break out space with seating are then located around the landscaped podium as well as a central play area. The height and massing at the southern side of the podium is deliberately kept low at 3 storeys to maximise daylight penetration to the podium space. The Daylight and Sunlight assessment of the communal amenity space at the Block 5 podium found that 86% of the podium amenity area receives 2 hours of sunlight on 21st March, far in excess of the 50% requirement. Given that the roof top amenity space is unobstructed it should have no issues with access to sunlight.

The various seated areas will provide moments to meet neighbours and strengthen social links within the block. The play space is well overlooked by the surrounding apartments to provide passive surveillance. At the 4th floor roof terrace seating and planters will provide an alternative amenity space with views to the adjacent Belltree Park.

Sunlight

The analysis of the amenity spaces, carried out by Delap & Waller for Block 5 shows that 89.21% of the Block 5 podium receives at least two hours of sunlight on March 21st. Similarly, 99.44% of the Block 5 Roof Terrace receives at least two hours of sunlight on the same date. Both amenity areas comply with the specified sunlight hour criteria.

For more details, please refer to Delap & Waller's Daylight & Sunlight Impact Assessment.



Figure 9.6 - Proposed Communal Amenity Space at podium level of Block 5



Figure 9.7 - Previously proposed at Section 247 meeting request stage, Communal Amenity Space at podium level of Block 5

9.0 | PUBLIC & COMMUNAL OPEN SPACE

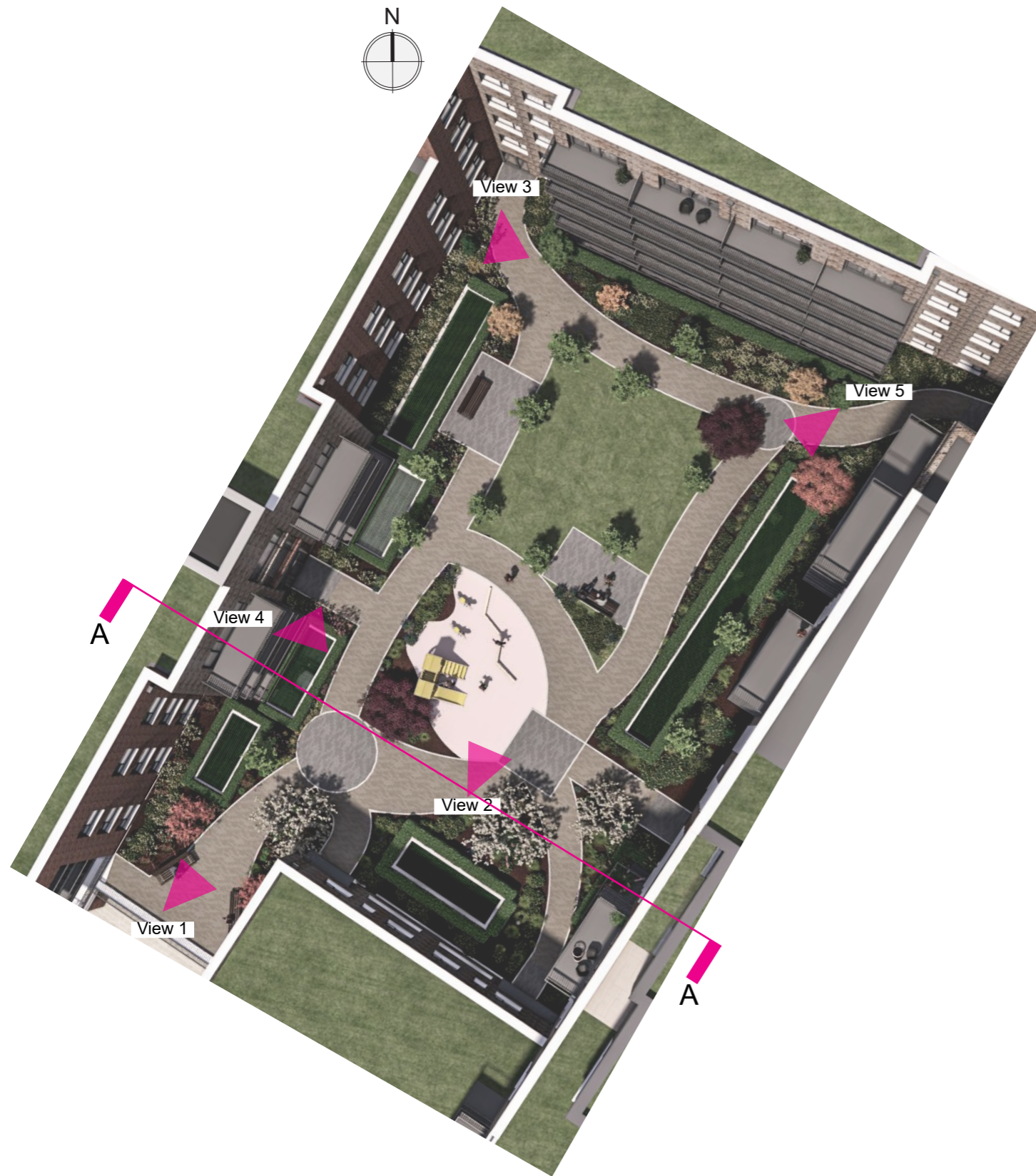


Figure 9.8 - 3D Aerial view of Block 5 podium level communal amenity space



Figure 9.9 - View 1 of seating area at Block 5 podium level



Figure 9.10 - View 2 of play space and seating area beyond at Block 5 podium level



Figure 9.11 - View 3 of Block 5 podium level communal amenity space from Core 3 entrance in north-west corner



Figure 9.12 - View 4 of Block 5 podium level communal amenity space looking to northeast



Figure 9.13 - View 5 of Block 5 podium level communal amenity space from Core 2 entrance looking south-west

9.0 | PUBLIC & COMMUNAL OPEN SPACE



Figure 9.14 - 3D Sectional View A-A of Block 5 podium level communal amenity space

Block 6 Communal Amenity Space - Design Evolution

Block 6 communal amenity space is provided entirely at first floor podium level in a landscaped courtyard. As outlined in the quantitative assessment, Block 6 has 2678 sqm of useable communal amenity space which is 1032 sqm in excess of the 1646 sqm required. The perimeter design and large scale of the block provide a very generous central landscaped podium with a variety of types of amenity space. At Block 6, 64.86% of the useable podium amenity area receives 2 hours of sunlight on 21st March. This equates to an area of 1,693 sqm. Given that the required quantum of communal amenity area at Block 6 is 1,646 sqm, it should be noted that 100% of the required quantum of communal amenity space receives 2 hours daylight on March 21st.

Car park vents from below are kept to the edges of the landscaped space. Children's play space is located in the sunnier north west corner of the space where it is well overlooked by the apartments above. Different seated areas are located around the podium space to provide moments for pause and chat. The breaks between the 5 core blocks allow views out to the neighbourhood beyond.

In response to the LRD opinion, a technical review was undertaken and concluded that it would be feasible to move the mechanical plant from the podium to roof level. There is now no mechanical plant proposed on the podium. The plant will now be sited on the lower roof on Core C, behind parapets and out of sight from the street and all apartments. The space on the podium formerly allocated to plant is now proposed to be part of, and be integrated with, the open space on the podium, enhancing the visual quality and usability of the space

Sunlight

The analysis of the amenity spaces, carried out by Delap & Waller for Block 6 shows that 64.86% of the Block 6 podium receives at least two hours of sunlight on March 21st. Similarly, 50.42% of the Block 6 crèche external amenity space receives at least two hours of sunlight on the same date. Both amenity areas comply with the specified sunlight hour criteria.

For more details, please refer to Delap & Waller's Daylight & Sunlight Impact Assessment.

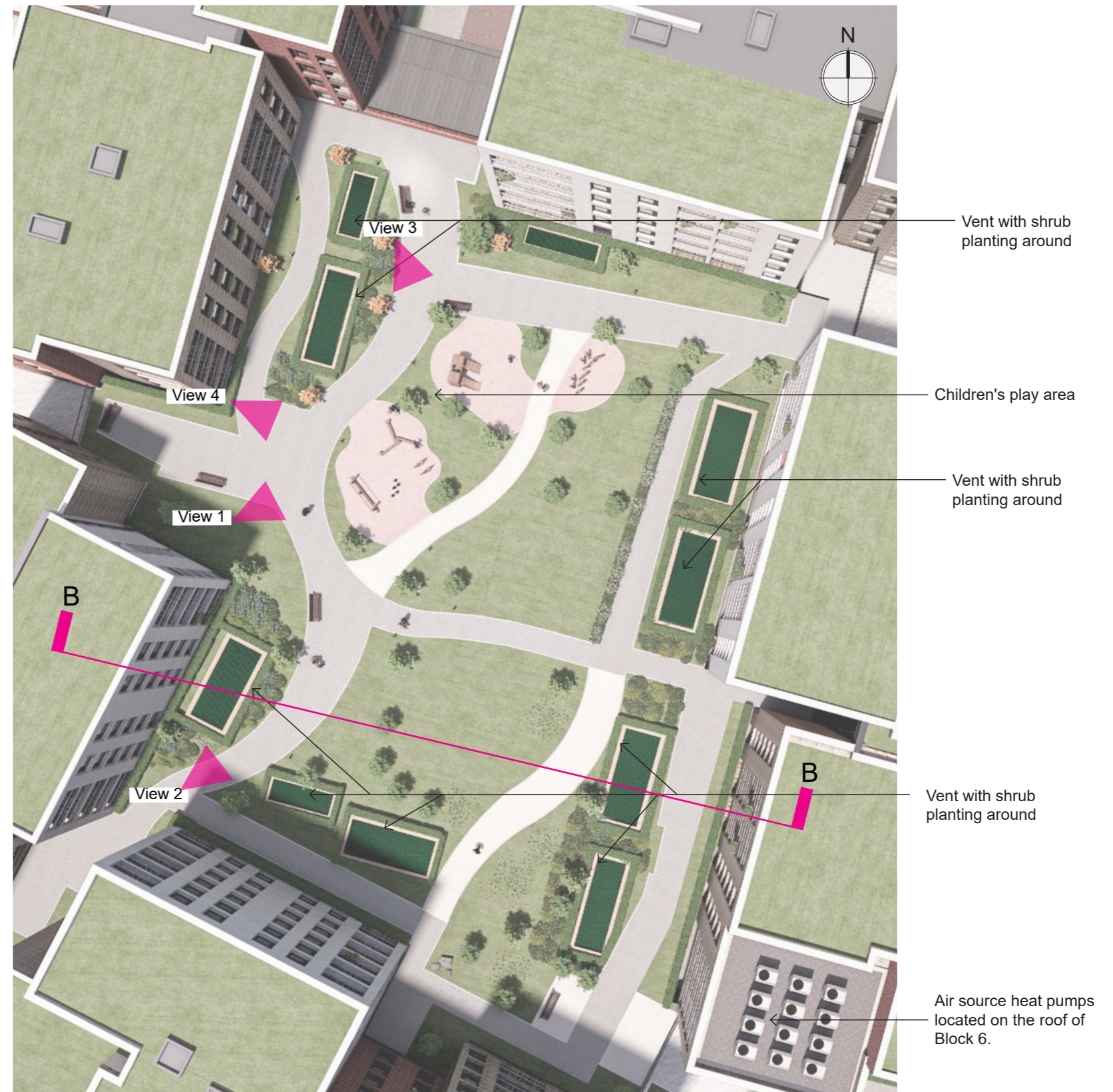


Figure 9.15 - Aerial View of Communal Open Space at podium level of Block 6



Figure 9.16 - View 1- Block 6 landscaped podium looking towards north east corner



Figure 9.17 - View 2 - Block 6 landscaped podium looking north to Core B



Figure 9.18 - View 3- Block 6 landscaped podium looking towards south east corner to Cores C and D



Figure 9.19 - View 4- Balcony view of Block 6 landscaped podium looking east.



Figure 9.20 - 3D Sectional View B-B of Block 6 podium level communal amenity space

10.0 | MATERIALS & FINISHES

Material Palette

The primary material palette at Blocks 5 and 6 will be brick. Chosen for its durability and enduring quality of appearance over time, it also will sit well within the neighbouring buildings in Clongriffin. Maintenance will also be low with a brick facade. The colour palette will be red and buff coloured brick which are used in different building planes to break down the scale and grain of the blocks. Maintaining common materials throughout will harmonise the new development with the existing. The different approach to massing and form at each block will ensure they are easily recognisable within the neighbourhood.

The residential facades are pushed and pulled over their length and height with recessed balconies at Block 6, projecting balconies at Block 5 and articulated entrances to residential cores. Balconies will have prefinished metal railings and wind and privacy screens will be in metal-framed glass. A light-coloured metal will be used at the recessed penthouse levels at each block. Some of the internal facing courtyard elevations at Block 6 will be in painted render finish. Flat roofs will be single ply membrane or extensive sedum green roofs as indicated on roof plans. Precast capping or metal flashing details will be used at parapets to minimise staining and protect the brick from weathering.

A separate building lifecycle report has been prepared with this application which outlines in detail the measures which have been taken in the design process and material selection to manage and reduce costs for the benefit of the residents as well as planning for successful maintenance of the development.

A comprehensive landscaping scheme has been prepared for the development by Ronan MacDiarmada & Associates Landscape Architects focusing on a range of high quality outdoor spaces for residents which include a public park, high quality public realm along Market Street, communal amenity gardens with play areas at podium landscaped communal outdoor areas and extensive sedum roofs and roof gardens for residents providing for a wide range of residents needs. The landscape approach is integrated with the engineering design to ensure a highly sustainable development which can be easily maintained in the future. At Market Street, metal tree grilles are employed with a mix of paving flags and charcoal setts. On side streets tree pits are used with compact trees. Permeable paving is used at all street parking spaces to assist the SuDS strategy for the development and provide sustainable rainwater attenuation.



Figure 10.1 - 3D view of Block 5 from south east



Figure 10.2 - 3D view of Block 6 from north east

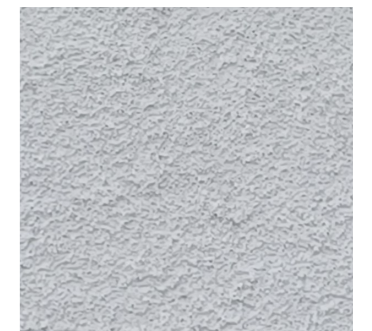
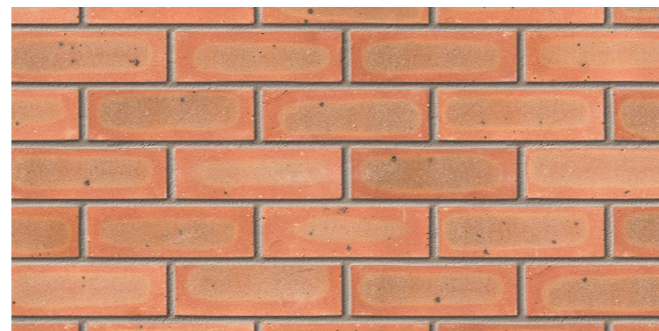


Figure 10.3 - Material palette

Building Precedents



Figure 10.4 - Lauriestown, Glasgow - Elder & Cannon Architects



Figure 10.5 - Hamilton Gardens, Cabra - Plus Architecture



Figure 10.6 - Grand Union Studios - Allford Hall Monaghan Morris



Figure 10.7 - Hamilton Gardens, Cabra - Plus Architecture

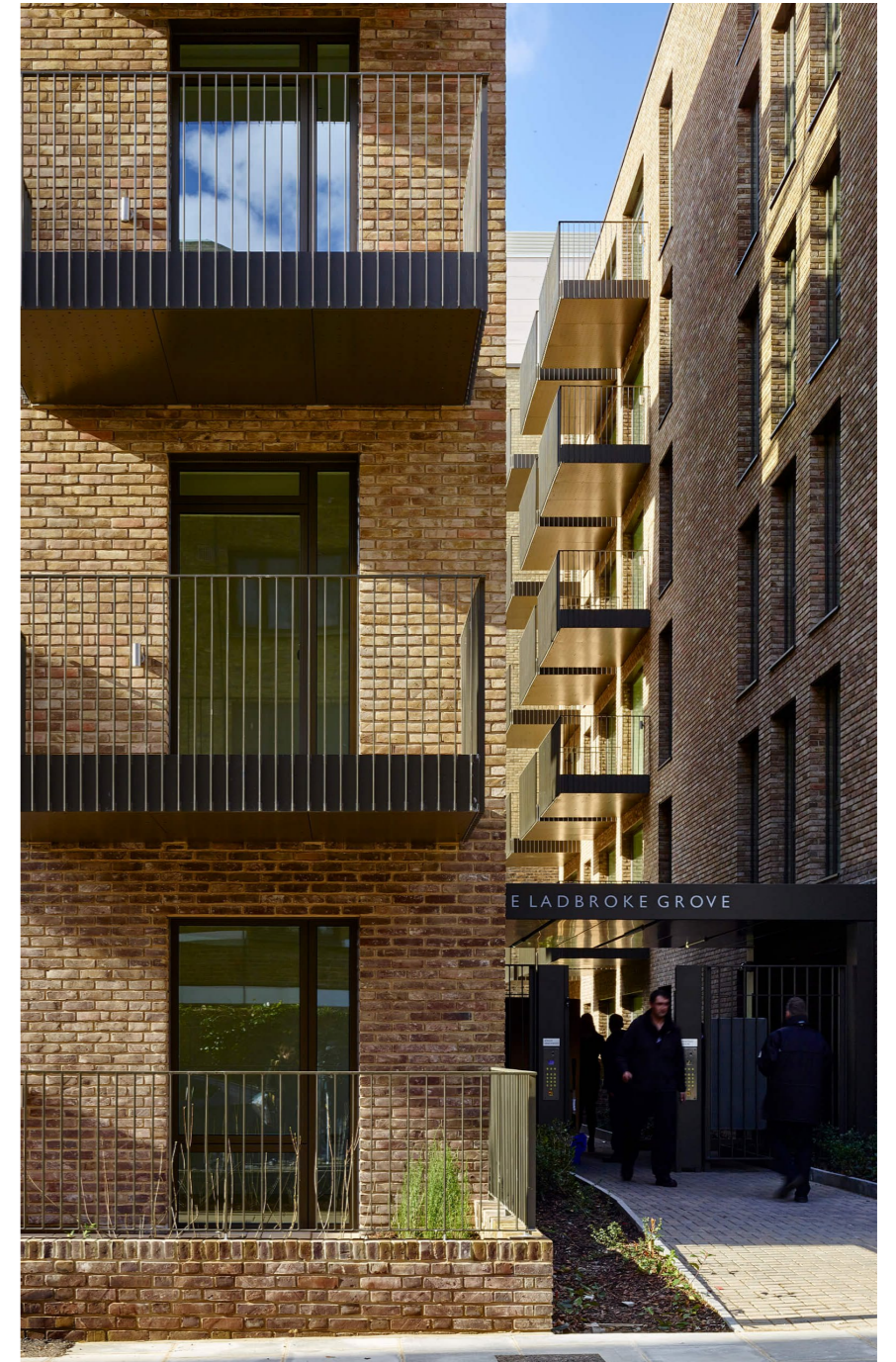


Figure 10.8 - Grand Union Studios - Allford Hall Monaghan Morris

11.0 | COMPLIANCE WITH INTERNAL DESIGN STANDARDS

Residential Development Standards

Areas & Internal Storage

All new homes comply with the relevant minimum areas and internal storage requirements in accordance with SPPR3 of Sustainable Urban Housing: Design Standards for New Apartments (2023). Room by room details for every apartment within the scheme is detailed in the Housing Quality Assessment that accompanies this planning application. The majority of the apartments within the scheme exceed the minimum area standard by a minimum of 10% with the quantum being 76% at Block 5 and 87% of units at Block 6.

Floor to Ceiling Heights

SPPR5 of the Sustainable Urban Housing: Design Standards for New Apartments (2023) requires all ground floor apartments to have a minimum ceiling height of 2.7m. All of the ground floor apartments at Blocks 5 and 6 comply with this policy. The community, cultural and arts units and the creche also have a ceiling minimum height of 2.7m. The floor to ceiling heights of apartments on upper storeys are 2.4m.

Lift and Stair Cores

The development complies with SPPR 6 of Sustainable Urban Housing: Design Standards for New Apartments (2023). No single apartment core comprises more than 12 units. The number of units per core varies across the development, depending on tenure and constraints, and ranges from 6 units per core to the max 10 units per core per floor.

Block	Units per Core/
Block 5 - Core 1	8
Block 5 - Core 2	7
Block 5 - Core 3	6
Block 5 - Core 4	8
Block 6 - Core A	10
Block 6 - Core B	10
Block 6 - Core C	10
Block 6 - Core D	10
Block 6 - Core E	10

Private Amenity Space

Every apartment has its own private, usable open space in the form of a ground level patio or terrace or a balcony at upper levels, and which are accessed directly from the living room. All of the terraces and balconies comply with the minimum areas prescribed by the Apartment Guidelines in Appendix 1 and all have a minimum depth of 1.5m. The area of every terrace and balcony within the scheme is detailed in the Housing Quality Assessment that accompanies this planning application.

Upper floor apartments will have protective railings compliant with TGD Part K as a minimum requirement. Ground floor apartments require greater privacy in addition to security and boundary demarcation.

The Landscape Architect has designed a suite of different design solutions for the development, incorporating combinations of threshold planting, railings and hedges, depending on the context and the public or communal realm to which the apartment faces.

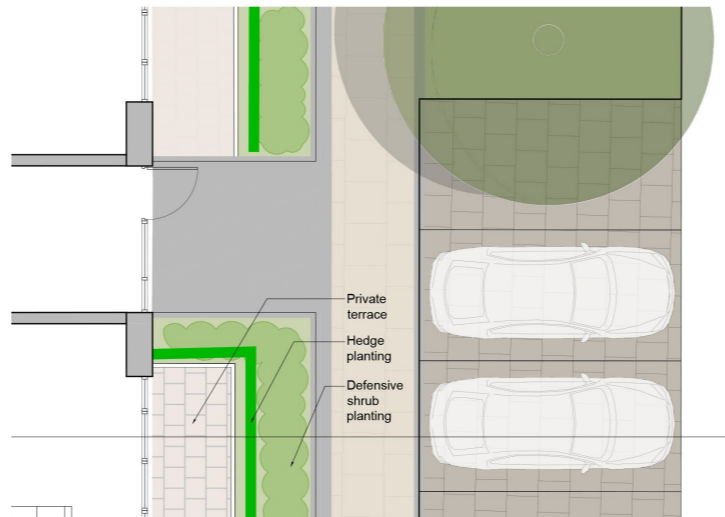
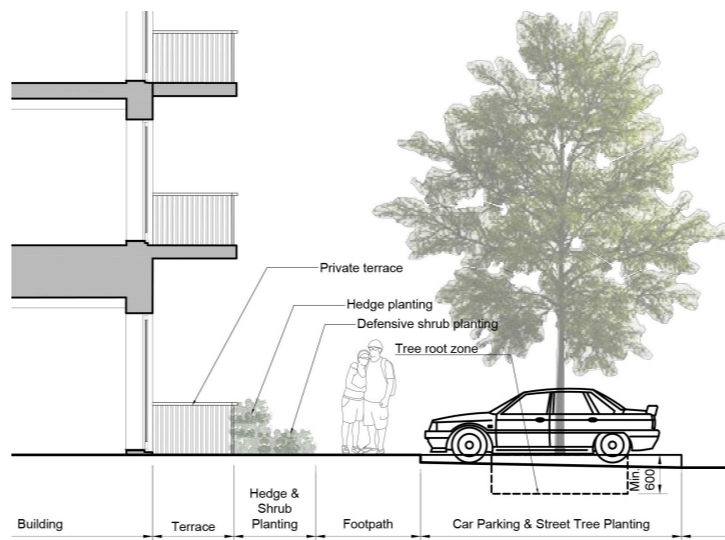


Figure 11.1 - Block 5 - balancing privacy - sociability and passive surveillance: Privacy planting strip

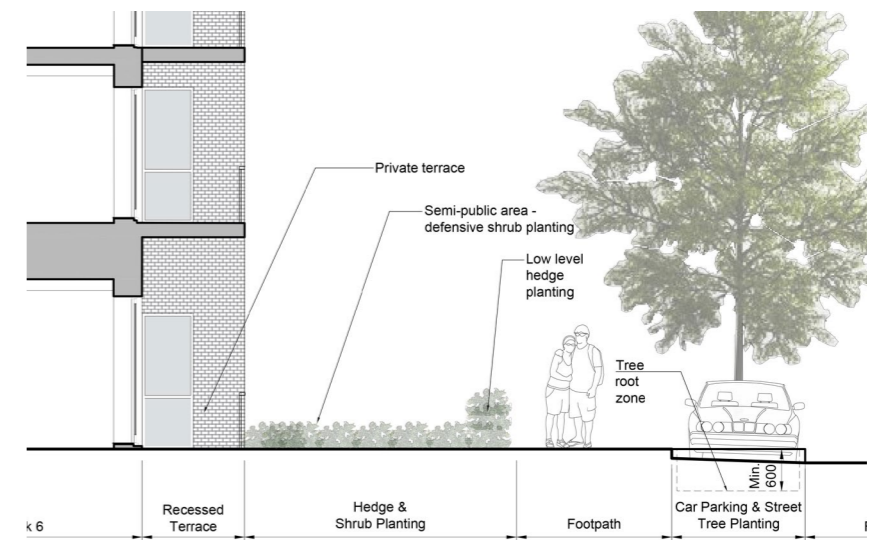


Figure 11.2 - Block 6 - balancing privacy - sociability and passive surveillance: Privacy planting strip



Figure 11.3 - Threshold precedent images



Figure 11.2 - Showing 1.8 high obscure glass privacy screens between apartments and their balconies on Block 5.

12.0 | RESIDENTIAL AMENITY

Bicycle Parking - Overview

Bicycle parking for residents and visitors is to be provided in accordance with Sustainable Urban Housing: Design Standards for New Apartments, at a rate of 1 secure, sheltered space per bedroom and 1 visitor space per 2 dwellings.

Residential bicycle stores are integrated into the building envelope, in secure bike parking rooms at ground level within the car park area of each block. They are located close to entrance and access points and where they will be well overlooked by regular footfall within the car park and ancillary services. Bicycle stands are a mix of Sheffield stands and double stacked racks, which provides a choice for all user-groups. Space has been made available for cargo bikes and trailers, generally closer to access points to make their regular use as easy as possible.

Visitor bicycle stands will be Sheffield stands located externally and close to building entrances. Sheffield stands are robust enough to secure a heavy e-bike or cargo bike and are the preferred method of bike security in the public realm.



Figure 12.2 - Double stacked system with gas assist



Figure 12.3 - Cargo Bike Stands



Figure 12.4 - Stainless steel sheffield stand. (Used for visitor bicycle parking)

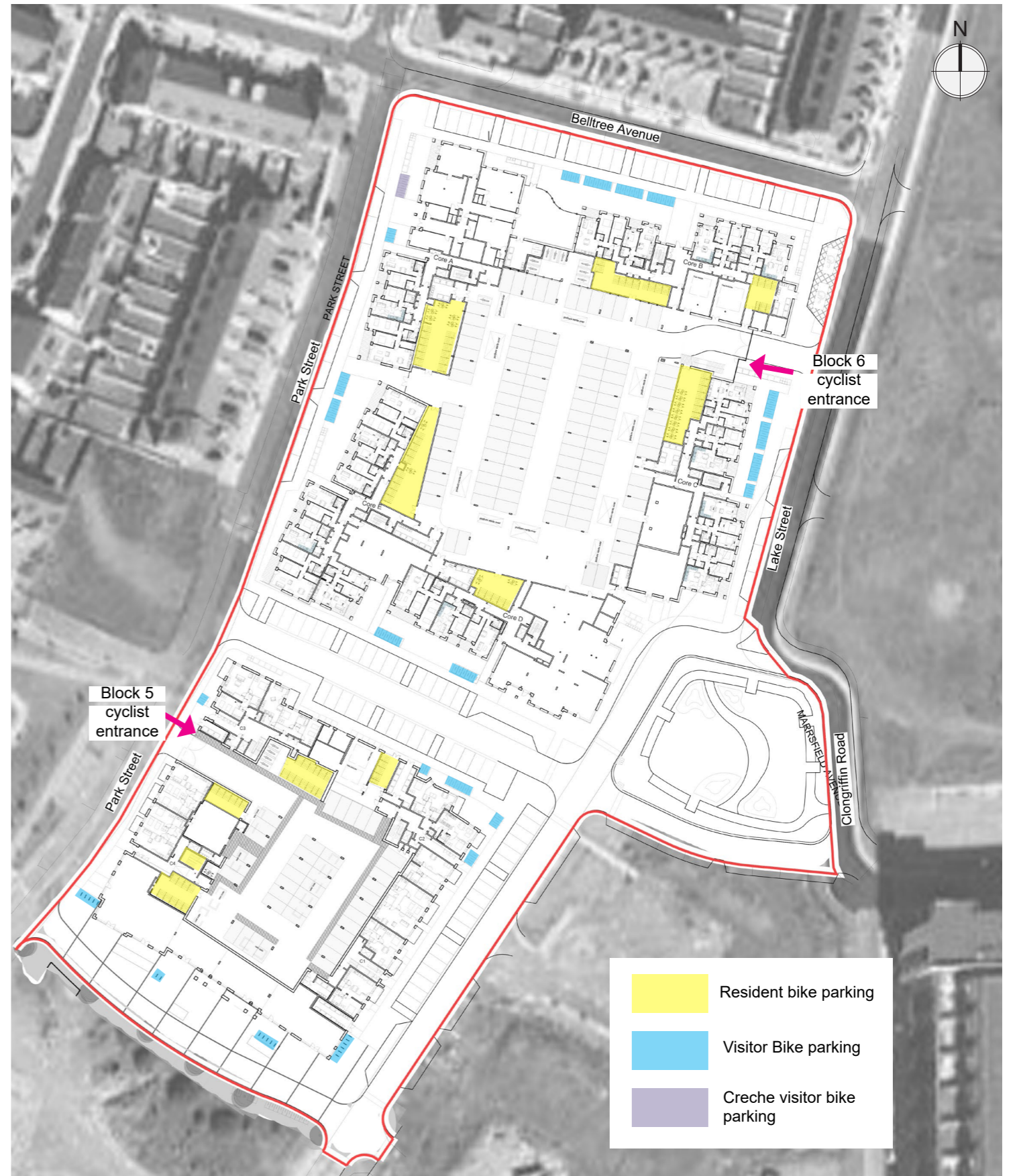
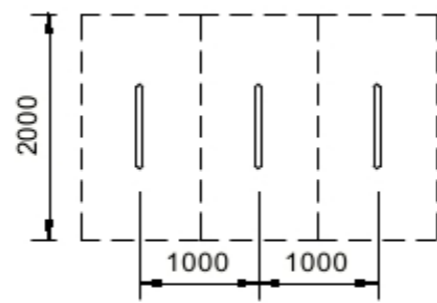


Figure 12.5- Location of bicycle parking at Blocks 5 and 6.

Block 5 Bike Parking

Block 5 has secure bike parking rooms located within the under podium parking zone. This provides good visibility and security for residents and their bicycles. The majority of bike parking spaces are double stacked and 2 cargo bike spaces have also been provided. The double stacked bike systems will be specified as spring or gas assisted to facilitate ease of use.

Bike Stores 2 and 3 are conveniently located adjacent to the car park entrance and Core 3. Bike Store 1 has direct access on to Dargan Street and is adjacent to Core 2. Bike Stores 4 and 5 accommodate cargo and double stacked bike storage and are located beside Core 4. Core 1 entrance is less than 30 metres from the closest bike store room.

10% of the resident bicycle spaces will be provided with fully functioning electric charge points.

Sheffield stands for visitor/short stay bike parking for the residential units at Block 5 are located adjacent to core entrances at Lake Street, Dargan Street and Park Street. In addition, a large quantity of Sheffield stands are available on Market street for both residential visitors and community members using the Community, Arts and Cultural Space here.

Please refer to drawing 'CLN-CCK-LRD-B5-ZZ-DR-A-000400' for detailed plans, sections, and elevations of the residential bike parking rooms located within the under-podium area in Block 5, including the identification of electric charging points.

Block 6 Bike Parking

Block 6 also has secure bike parking rooms located within the under podium parking zone. Similar to Block 5, double stacked and cargo bike stands have been provided. The double stacked bike systems will be specified as gas or spring assisted to facilitate ease of use.

Each of the 5 cores have a bike store located adjacent with 6 secure bike stores in total provided at Block 6. Sheffield stands for visitor/short stay bike parking for the residential units at Block 6 are located adjacent to core entrances at Lake Street, Dargan Street, Park Street and Belltree Avenue. In addition, Sheffield stands are available on Park Street dedicated to the creche staff and visitors.

10% of the resident bicycle spaces will be provided with fully functioning electric charge points.

Please refer to drawing 'CLN-CCK-LRD-B6-ZZ-DR-A-000400' for detailed plans, sections, and elevations of the residential bike parking rooms located within the under-podium area in Block 6, including the identification of electric charging points.

Summary of Bicycle Parking for Blocks 5 & 6		
Block 5	Provided	Required
Residential Bikes	220	220
Visitor Bikes	70	69
Total Block 5 Bike Parking	290	289
Block 6	Provided	Required
Residential Bikes	418	418
Visitor Bikes	136	135
Creche Staff Bikes	4	4
Creche Visitor Bikes	10	10
Total Block 6 Bike Parking	568	567
Overall Total Bike Parking	858	856

Table 12.5.1 - Summary of Bicycle parking for Blocks 5 & 6

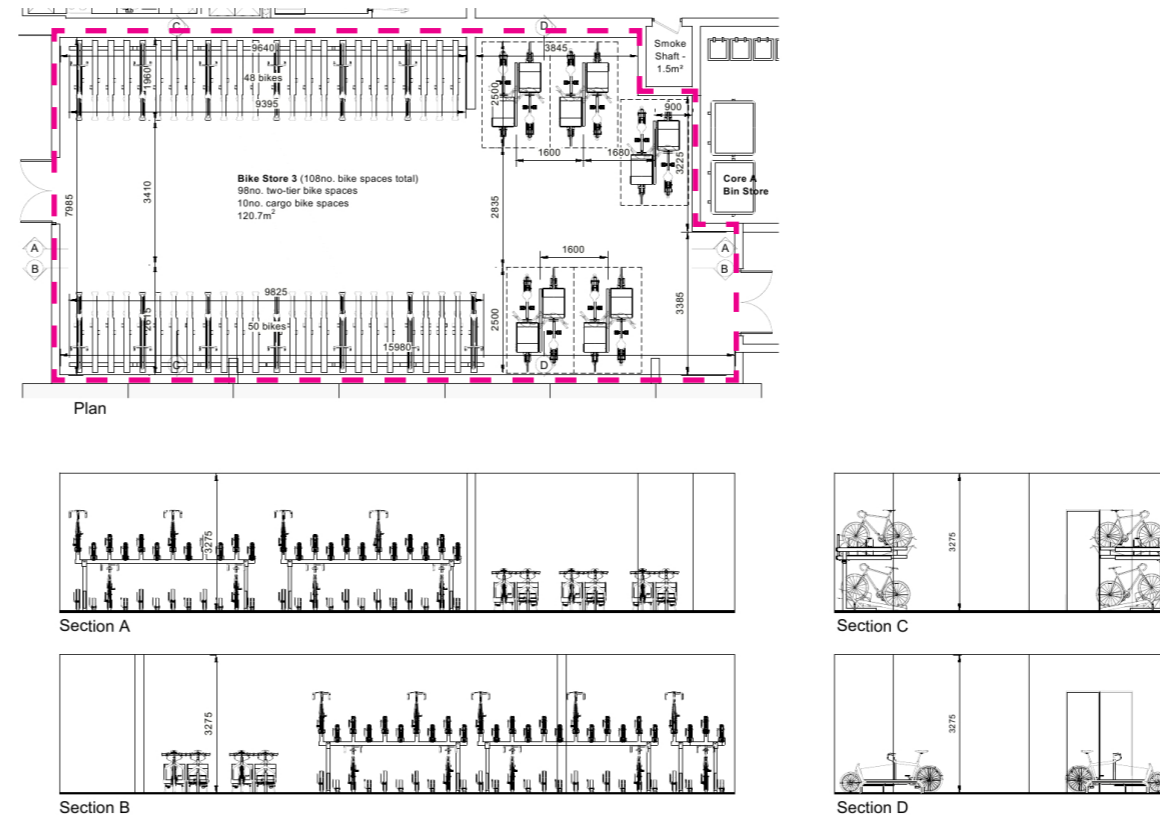


Figure 12.5.2 - Plan, Sections & Elevations of a bike parking room located within the under podium of Block 6, Please refer to drawings 'CLN-CCK-LRD-B6-ZZ-DR-A-000400' and 'CLN-CCK-LRD-B5-ZZ-DR-A-000400' for detailed plans, sections, and elevations of all the residential bike parking rooms for Blocks 5&6.

Car Parking Overview

A total of 260 parking spaces are proposed for Blocks 5 and 6. Of these, 97 spaces are located on-street while the remaining 163 spaces are located off-street within the blocks under a landscaped podium.

On-street spaces are a mix of parallel and perpendicular bays broken into short banks by street tree planting. 13 motorcycle spaces are provided for residents within the off-street parking also.

Loading bays are provided for both Block 5 and Block 6. A loading bay for Block 6 is situated along Dargan Street, while the loading bay for Block 5 is situated along Lake Street.

Car Parking at Block 5

Residents at Block 5 have a combination of 34 on-street parking spaces as well as 45 secure off-street parking spaces accessed off Park Street.

Perpendicular on-street parking spaces are located on Lake Street and Dargan Street in banks of 4-5 spaces separated by street trees. From the parking at ground floor level four circulation cores provide stair and lift access to the apartments above. Secure bin and bike stores are located adjacent to the circulation cores for convenience of residents and optimal passive surveillance. Access to the car park from Park Street will be gated and secured via key fob access control. 4 accessible parking spaces and 4 motorcycle spaces are provided within the off-street parking also.

Car Parking at Block 6

Block 6 has a combination of 63 dedicated on-street parking spaces as well as 118 secure off-street parking spaces accessed off Lake Street.

Parallel on-street parking spaces are located to the east and west on Lake Street and Park Street while perpendicular on-street parking spaces are located on Belltree Avenue and Dargan Street to the north and south. Parallel bays are in banks of 2-3 spaces while perpendicular banks have 4-5 spaces, all banks are separated by street trees. From the parking at ground floor level five circulation cores provide stair and lift access to the apartments above. Similar to Block 5, secure bin and bike stores are located adjacent to the circulation cores for convenience of residents and optimal passive surveillance. Access to the car park from Lake Street will be gated and secured via key fob access control. 7 accessible parking spaces and 9 motorcycle spaces are provided within the off-street parking also.

EV Charging Points

50% of the total number of parking spaces proposed will be fitted with live EV charging points. All of these spaces are on-curtilage, within the covered car park where they will be privately managed.

Note: None of the proposed on-street car parking spaces are assigned to any of the proposed residential units/non-residential units. All of the on-street car parking spaces will be available for public use only.

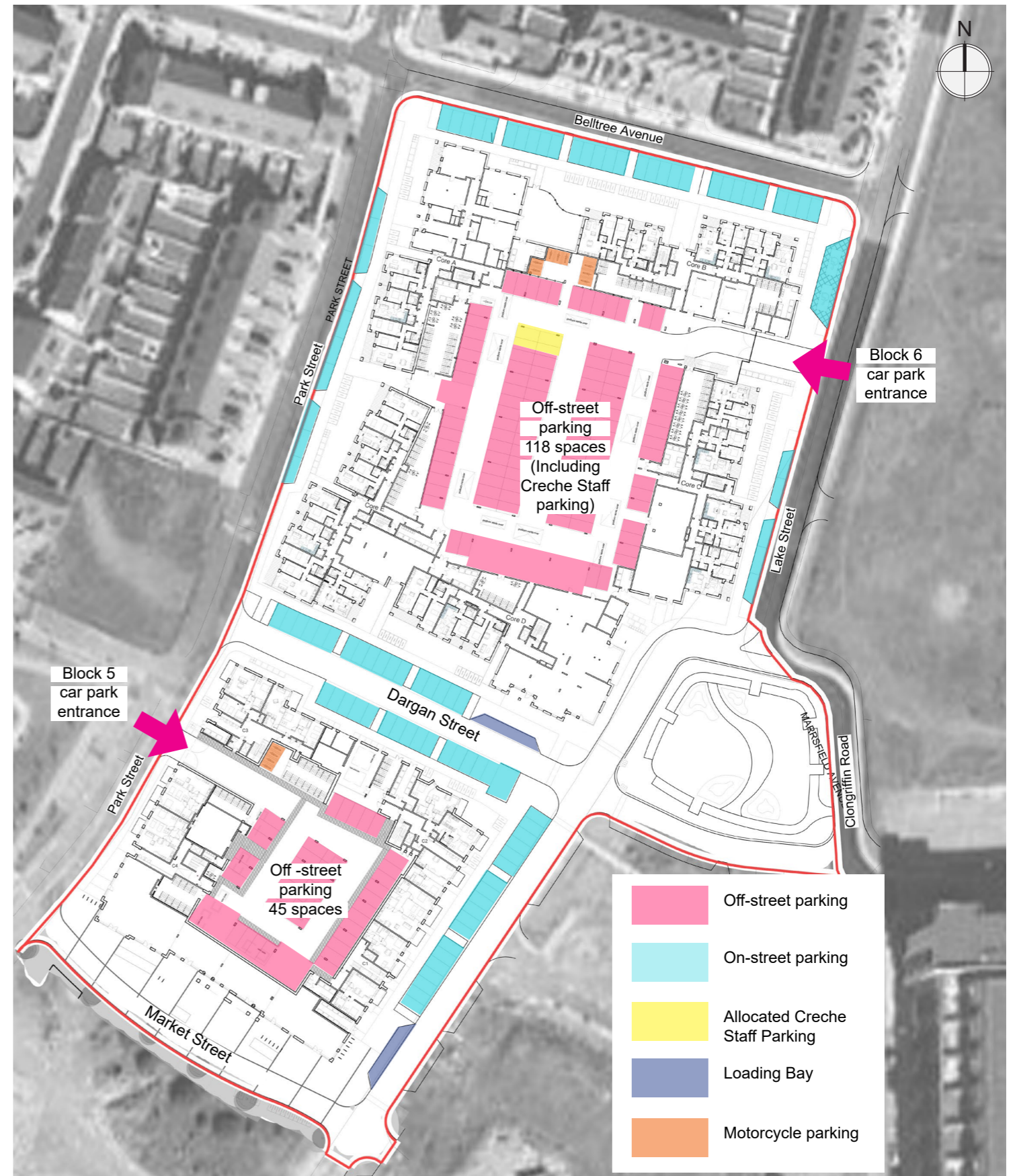


Figure 12.6 - Location of car parking at Blocks 5 and 6

Waste Management Strategy

The design has allowed for appropriate waste management. For more details, please refer to Enviroguide's Operational Waste Management Plan.

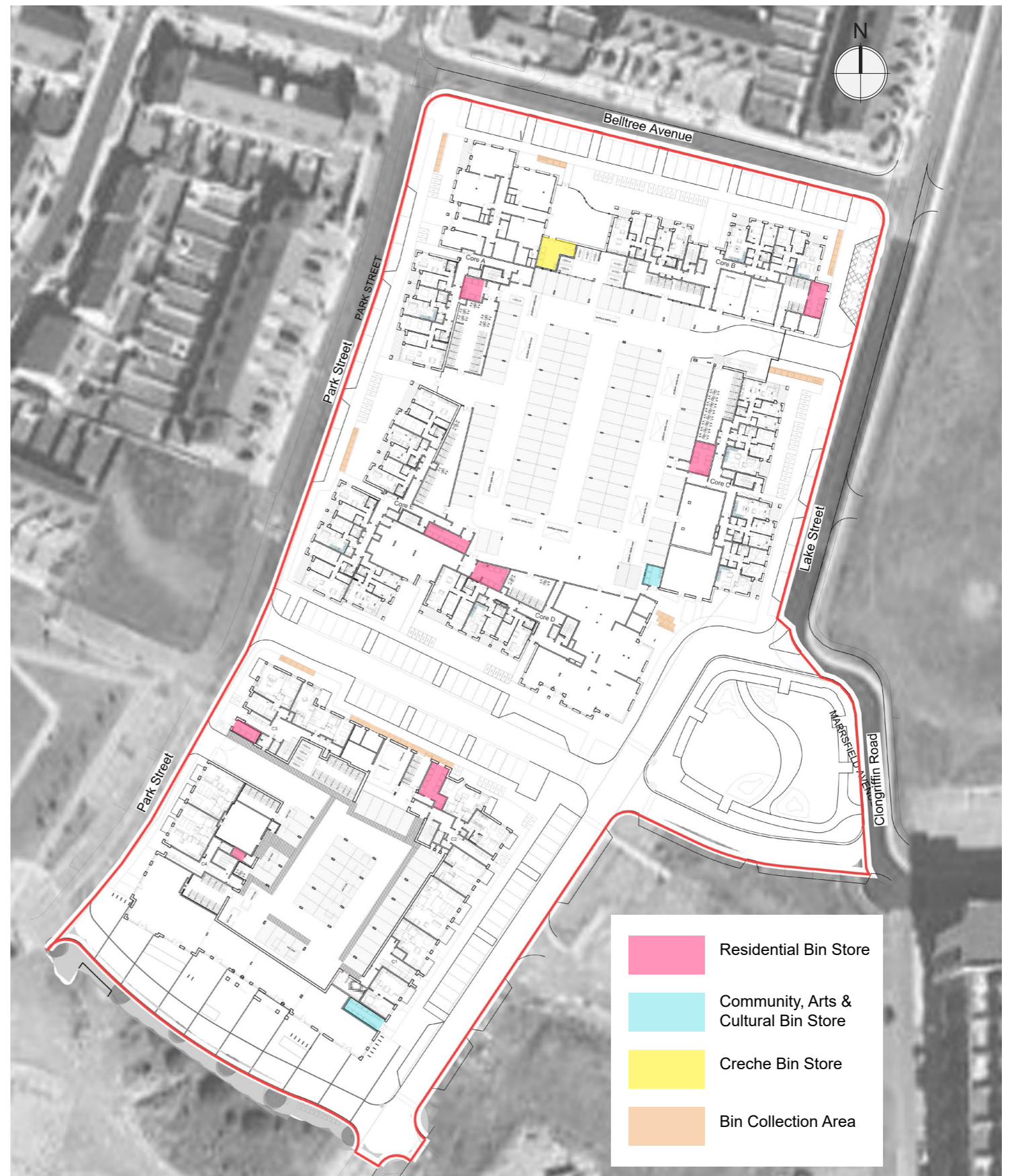


Figure 12.7 - Locations of bin stores and bin collection areas at Blocks 5 and 6

Block 5: Privacy Screening between Adjacent Balconies

Block 5's overhanging balconies incorporate privacy screens between adjacent units to ensure residents' privacy. These privacy screens, composed of 1.8-metre high metal framed obscure glass, separate balconies that are next to or near each other, providing residents with a greater sense of privacy and reducing visual intrusions.



Figure 12.8 - 3D verified view of Block 5 balconies, showing the privacy screens between adjacent balconies.

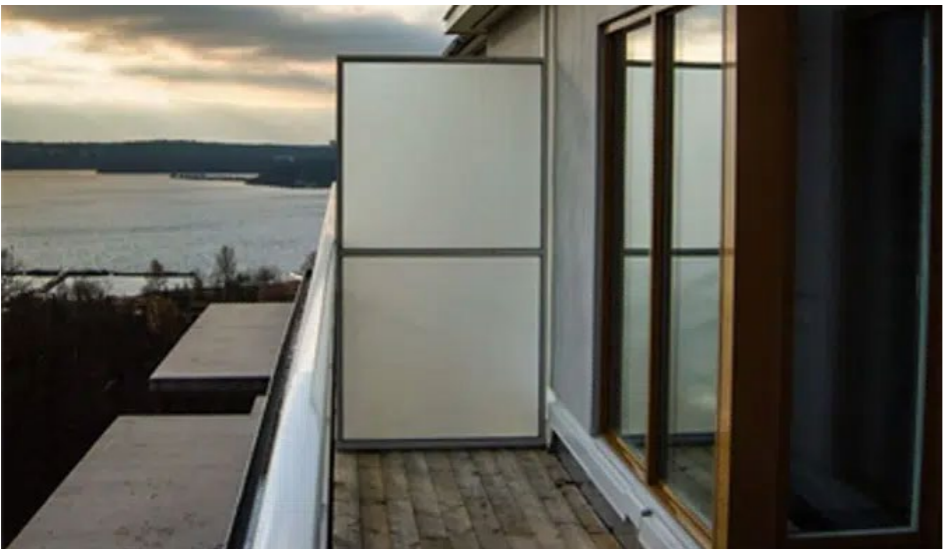


Figure 12.9 - Precedent image of obscure glass privacy screen between balconies.



Figure 12.10 - Second Floor Plan (Typical) Location of Privacy Screens between adjacent balconies at Blocks 5

Block 6: Privacy Screening between Adjacent Balconies

Block 6's balconies are recessed, providing adequate privacy to each balcony unit. However, 1.8-metre high metal-framed obscure glass privacy screens are used between balconies that are side-by-side, adjacent to, or in close proximity to neighbouring units.



Figure 12.11 - 3D view of Block 6 recessed balconies.

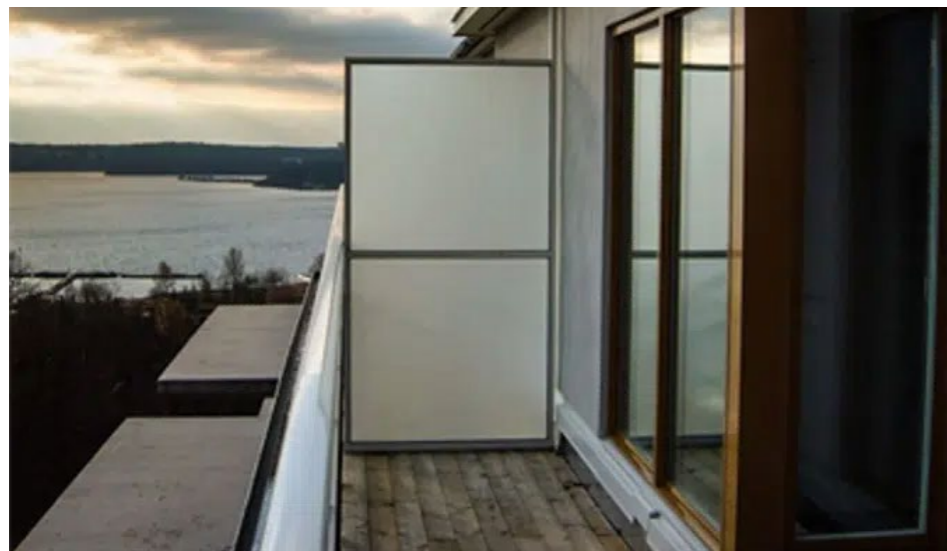


Figure 12.11 - Precedent image of obscure glass privacy screen which will be used for balconies that are side by side.



Figure 12.12 - Second Floor Plan (Typical) Location of Privacy Screens between adjacent balconies at Blocks 6

Privacy Screens

12.0 | RESIDENTIAL AMENITY

Block 6 - Unit 00-11

Unit 00-11, although a north-facing unit on the ground floor, offers several compensatory features that make it desirable. Firstly, the living room benefits from a substantial window opening that is 3m high, providing ample natural light. Additionally, two high-level windows allow west light to permeate the living space. The unit also has a generous floor-to-ceiling height of 3.6m and the building's edge is set back 6.5m from the footpath with extensive shrub planting, maximising privacy for residents in this ground floor unit.



Figure 12.13 - Block 6 Ground Floor Key Plan with Unit 00-11 highlighted

3m high glazing to corner living room window. In addition to this, two high level windows give west light to the living space.

The building edge is set back 6.5m from the back of footpath with extensive shrub planting in the front of the dwelling to maximise privacy for this unit. The buildings to the north are 30.8m away.



Figure 12.14 - Block 6 Ground Floor Key Plan

Obscured glass privacy screen west of the terrace

High level windows to the west

CRECHE PLAY SPACE

Planting



Figure 12.15 - Section through Unit 00-11 (Highlighted)

Wind Assessment

Detailed wind analysis was carried out for the extant SHD permissions for Blocks 5 and 6. The footprints and scale of the proposed blocks is very similar, just reduced by one storey at the north east corner of Block 5. Thus, the recommendations of the previous wind analysis report have been incorporated into the current proposals for Blocks 5 and 6.

In general, the report conclusions found that roads and streets across the development are sheltered from wind. Where the size of surrounding blocks vary in scale it can lead to windier streets, but even in these areas to the north west of Clongriffin which were analysed, it was concluded that the thoroughfares still remained suitable for their intended use. It also concluded that the different spaces within the blocks experience wind conditions that are consistent with their intended function. It noted that it was beneficial that the main block entrances were located towards the centre of the buildings. It also noted that locating the communal amenity courtyards in the centres of the blocks with buildings surrounding them on all sides helps to ensure that these spaces are sheltered from all wind directions.

Focused wind mitigation measures from the wind analysis report were incorporated into the design for the SHD permissions and they have been retained in the current proposals. These comprise 1.8m high wind screens to the short ends of certain more exposed balconies adjacent to corners at Blocks 5 & 6. Planting and soft landscape features along the main thoroughfares and at corners of blocks also remain in the current proposals to help mitigate against potential wind conditions for pedestrians at street level.



Figure 12.16.0 - Wind screens, planting and soft landscape features on the sides of Block 5's corner-facing balconies.



Figure 12.16.1 - Wind screens, planting and soft landscape features on the sides of Block 6's corner-facing balconies.

Daylight and Sunlight

The urban blocks, apartments, and communal open spaces have been designed with regard to the principles and guidance of the recently published BR 209 2022 Site Layout Planning for Daylight and Sunlight: a Guide to Good Practice (3rd edition 2022). Specialist consultants collaborated with the architects and urban designers throughout the design process, and the proposed final scheme achieves a very high level of compliance with the Guidelines that is commensurate with the nature of this new, high-density, urban development.

A full and comprehensive Daylight and Sunlight Assessment and Report prepared by Delap & Waller accompanies this planning application.

1. Impact on Daylight to Neighbouring Houses

The extant SHD permissions analysed the impact of the new development on existing and future development, including those under construction at the time of the planning process and the An Bord Pleanála decision to grant permission. The impacted receiving environment comprises 11 houses on Park Street and 8 houses on Belltree Avenue located to the west and north of Block 6 respectively.

The new development will populate the opposite side of the street from these dwellings with 4 to 6-storey apartment buildings and will result in a change to the vertical sky component with minor impacts. Clongriffin has been designated a Key Urban Village comprising a high-density urban core with building heights to comply with the objectives of the Development Plan, and it is expected that urban streets and spaces will have taller and denser frontage. The distance between the existing houses and the facades of Block 6 exceeds 22m and widens out to over 30m in sections. Overlooking and supervision of streets and spaces is critical for passive security and it is considered the presence of new windows and balconies overlooking Park Street and Belltree Avenue is reasonable.

In consideration of the potential impact on the existing houses, the proposed development includes minor modifications from the permitted scheme to lessen overlooking and loss of visible sky, namely by omitting the communal roof terraces overlooking those dwellings and by keeping the building 'shoulder' of Block 6 to 4 and 5-storeys along these streets and stepping to 6 and 7-storeys on street frontages away from the terraced dwellings.

2. Sunlight Analysis of the Proposed Amenity Spaces

The analysis demonstrates that there will be sufficient sunlight to both podiums and Grant Park, with the Block 6 podium complying with the threshold of at least half of its area receiving at least 2

hours of sunlight on the equinox (64.86%). This equates to an area of 1,414 sqm. Given that the required communal amenity area at Block 6 is 1646 sqm, it should be noted that 87.5% of the required quantum of communal amenity space receives 2 hours daylight on March 21st. The Block 5 podium comfortably exceeds the 50% threshold (89.21%). In the case of the proposed Grant Park, 100% of its area will receive at least 2 hours of sunlight on the equinox.

Block 5 has the benefit of a second communal amenity space in the form of a roof terrace. This terrace is located on the 4th floor of Core 4 and has west orientation across Belltree Park with no obstructions whatsoever, therefore the question of sunlight does not arise.

3. Daylight Analysis of the Proposed Apartments

All of the 408 apartments were analysed by the consultants and it is demonstrated that >94% of rooms within Block 5 and >90% of rooms within Block 6 comply with the recommendations of BRE209 and EN 17037. This represents a significant majority of rooms being compliant and is comparable with other schemes granted in Dublin City Council.

For apartments which include a living room or bedroom that does not fully comply with the Guidelines compensatory measures are incorporated within the scheme as follows:

Block 5

- All residents have immediate access to the transport hub and town centre facilities on their door step. These facilities are enhanced by the increased footfall from compact development.
- All residents have access to a west facing landscaped roof terrace on the 4th floor which overlooks Belltree Park along its length all the way up to Fr. Collins Park.
- Belltree Park, an existing park, is immediately adjacent to Block 5.
- Grant Park, a new park proposed as part of the development, is to the immediate northeast of the block, and is very different and passive space as a contrast to Belltree Park.

Block 6

- All residents have immediate access to the transport hub and town centre facilities on their door step as above.
- Belltree Park, an existing local park, is immediately adjacent to Block 5.

- Grant Park, a new park proposed as part of the development, is to the immediate southeast of the block, and is very different and passive space as a contrast to Belltree Park.

It is noted that compensatory measures to increase glazing to a living room or bedroom will, in general, have no material impact on the daylight factor of the affected rooms, as Vertical Sky Component is determined by a structure or building opposite the window to be assessed. Increasing glazing can have an adverse effect, causing overheating within the apartments.

Conclusion

- The communal amenity open spaces at first floor podium level comfortably comply with the minimum requirements.
- The impact of the proposed development on existing private amenity space has been considered and measures taken to limit the building shoulder height and omit communal roof terraces in sensitive locations.
- The impact of the proposed development on existing dwellings has been considered and measures taken to omit communal roof terraces and to limit the building shoulder of Block 6 to 4 and 5-storeys on those streets effected.
- The new analysis presents a very high pass rate of individual apartments in terms of daylight that is reasonable for a high-density urban development in a Key Village Centre. It is considered that an overall pass rate of 90% and 94% is commensurate with similar developments in Dublin City Council and that the compensatory measures in terms of the quality, accessibility and range of communal and public open space available to residents are appropriate.

There are two Daylight / Sunlight Assessment reports with this application. They are prepared by Delap and Waller Consulting Engineers. Please refer to these reports for comprehensive and detailed assessment.

Report 1 is called "Daylight / Sunlight Performance Assessment Associated with a Proposed Development at Clongriffin Blocks 5 and 6". This report assesses in detail the performance of the proposed new development in its context.

Report 2 is called "Daylight / Sunlight Impact Assessment Associated with a Proposed Development at Clongriffin, Blocks 5 and 6." This report assesses in detail the effect of the proposed development on existing houses and gardens adjacent to the proposed new development.

Daylight and Sunlight: Existing Context.

Clongriffin is planned as a highly sustainable mixed use neighbourhood centred on key public transport interchanges with a distinct identity and sense of place. The central area will be an urban town centre and this has been expressed in successive planning permissions for a compact urban centre with a quality public realm. This application closely follows the form of the permitted development on this site. Benefits for all residents flow from the increased urbanity in the centre, it brings with it a convenience and diversity of facilities. The viability, and so the available offer, of retail, hospitality and service facilities is improved with the additional population and the diversity of dwelling typologies and occupants that comes with urban scale. The location is within 500m of the Dart and Bus transport hub, the Town Square and the emerging retail, supermarket and services, and all with high quality parks and greenways at hand.

Belltree Avenue and Park Street:

As is normal with larger developments, phases tend to be completed before adjacent areas commence. In this case there are houses constructed to the north and west of Block 6. The existing dwelling windows most affected are the street side windows of 43-63 Park Street to the west and 29-43 Belltree Avenue to the north. As houses, naturally all are dual aspect and the rear garden side is unaffected.

The houses on Park Street face east and are 2 storeys with 3 storey bookends to the terrace. The development is considered to have a minor impact on the terrace. The ground floor street facing living areas have bay windows which avail of southern sunlight down the street for a period in the mornings. The bookends have first floor living rooms with generous windows. The rear living rooms are unaffected and will get evening sun from the back garden side.

The houses on Belltree Avenue face south and consist of a corner house where the street facing living rooms are dual aspect with principal windows to the east and west, and a terrace of 3 storey houses where the main living room is street facing on the first floor. The kitchen/dining area faces into the back garden and is unaffected. The terrace faces south to the street and the houses will get sun during the day post development. The development is considered to have a less than minor impact on these houses.

Please refer to prepared by Delap + Waller’s Daylighting and Sunlight Impact Assessment for a comprehensive and detailed overview.

Private Amenity Space

With regard to any reduction of sunlight to the receptor’s gardens of houses on Park Street and Belltree Avenue, the analysis shows that with the exception of 29 Belltree Avenue and 43 Belltree Avenue, all amenity spaces of the nearest sensitive receptors achieve compliance with BRE’s recommendations for Sun Hours on Ground. The two dwellings which fall below the recommendations, 29 and 43 Belltree Avenue are classified with a minor and moderate impact respectively. The report notes that these gardens do receive direct southern sun in the main growth and amenity period from mid April to the end of August

Impact Classification

Impact classification compares the vacant site opposite with the proposed development, The high visible sky component (VSC) existing is a direct result of the other side of the road being unbuilt and so the difference in lighting levels is influenced by its temporary status as a vacant site. The BRE metrics for classification, whereby a drop in lighting level may be considered an impact, applies as a guideline to all new developments including for example on disused sports grounds which had an established open aspect and therefore impacts on existing houses with an expectation of that openness. In the case of a new development area, as here, an expectation that the undeveloped parts of the site designated for building would remain undeveloped would be counter to the established policy and plans for the area, particularly where planning permission already exists confirming a baseline development as pertains here.

It is important to consider the various contexts within which the guidelines are to be interpreted, and the BRE introduction is a good reference point in this regard.

Please refer to Delap and Waller Report 2 of 2 – “Daylight / Sunlight Impact Assessment Associated with a Proposed Development at Clongriffin, Blocks 5 and 6.” This report assesses in detail the effect of the proposed development on the adjacent existing houses and gardens.



Figure 12.17- Key map showing street address numbers on neighbouring streets



Figure 12.18 - Verified View 3 from Belltree Lane showing step down to four and five storeys at Park Street

Movement & Design Manual for Urban Roads and Streets (DMURS)

The original urban design strategy for Clongriffin was based on the principles of DMURS and previous best practice and guidance in this area. The four Key Characteristics of Place Based Design are core to the design approach and the current proposal for Blocks 5 and 6 fully supports these aspirations. In designing the internal street network and its integration with the wider existing neighbourhood, consideration was given to pedestrians as a priority, with a descending order through cyclists, public transport and lastly the private car.

Achieving better street design in urban areas will encourage more people to choose to walk, cycle or use public transport by making the experience safer and more pleasant. It will lower traffic speeds, reduce unnecessary car use and create a built environment that promotes healthy lifestyles and responds more sympathetically to the distinctive nature of individual communities and places. The proposal for Blocks 5 and 6 is intended to deliver a high quality development which complies with the recommendations of DMURS.

The proposed development was designed to reduce traffic speeds with long straight sections of road, where possible, being avoided. The siting of Grant Park in the original urban block structures forces a bend in the trajectory of both Lake Street and Clongriffin Road as they merge together to the north side of Grant Park. Road junctions incorporate raised tables which improve pedestrian crossing facilities, particularly for disabled users and people pushing prams or buggies, and serve as an additional traffic calming measure. DMURS sets out four core design principles which designers must consider in the design of roads and streets.

Connectivity

Permeability and movement are key to the layout and usability of the town centre in Clongriffin. A hierarchy of routes has been created, which will encourage traffic of each mode onto the appropriate route, whilst outright barriers to movement have generally been avoided. The provision of high quality, direct links, will encourage active modes of transport, with cycling and walking taking precedence for 'last mile' and local journeys.

The proposed development has been carefully designed so that the private car does not enjoy the level of connectivity afforded to pedestrians and cyclists. Journey times and routes for car-based transport are considerably longer and more cumbersome in order to make it more attractive for walking and cycling to the local shops and schools. The development is, however, well connected to the surrounding road network.

Clongriffin is designed as a permeable neighbourhood with a hierarchy of streets from neighbourhood to regional. Most of the development's internal road network has been constructed under the parent planning application, Reg. Ref. 0132/02, PL29N.131058 as noted earlier in this report. The

internal road network connects with Marrsfield Avenue to the north and Main Street to the south, both of which connect to Hole in the Wall Road to the west of the development.

Though construction of the main road network is substantially completed to wearing course, the following roads are to be completed as part of the development of Blocks 5 and 6: Market Street to the south of Block 5, Lake Street extension to the east of Blocks 5 and 6 and Dargan Street to the south of Block 6 and Grant Park. The proposed development is to be compliant with the recommendations set out in the Design Manual for Urban Roads and Streets (DMURS), the stated objective of which is to achieve better street design in urban areas.

Enclosure

The proposed blocks all propose strong street edges. At ground floor apartments, a minimum of 2m 'defensible' zone is proposed, with these spaces carefully designed to facilitate residential privacy whilst maintaining 'eyes on the street'. At Block 5 on Market Street, the community, arts and cultural uses have immediate connection to the public realm outside.

The use of street trees can also enhance the feeling of enclosure. The proposed development has been designed so residential units are overlooking streets and public open spaces, which provides passive surveillance. Landscaping and tree planting are provided along the roads surrounding Blocks 5 and 6 which assists in providing a sense of enclosure and enhanced street environment.

Active Edge

Each block fronts directly onto the surrounding roads and streets. Entrances to blocks are provided directly from the street in addition to proposed community, arts and cultural uses at ground level. Additionally, own-door residential units at Block 5 will increase footfall and activity.

Pedestrian Facilities/ Activity

The sense of intimacy, interest and overlooking that is created by a street that is enclosed and lined with active frontages enhances a pedestrian's feeling of security and wellbeing. Good pedestrian facilities (such as wide footpaths and well designed crossings) also makes walking a more convenient and pleasurable experience that will further encourage pedestrian activity. All footpaths proposed are a minimum of 2m wide, typically wider, with street planting, car parking, bicycle stands and other uses added to create diversity.

A pocket park is included in this application, at Grant Park adjacent to Block 6. This space will improve the pedestrian realm and add resting opportunities and shading. The pedestrian priority street along Market Street to the south of Block 5 will also extend the public realm of Belltree Park and provide a green link through Belltree Park to Fr. Collins Park.

Both perpendicular and parallel on-street parking spaces are incorporated at Blocks 5 and 6. On-street parking separates pedestrians from the vehicle carriageway and, as per DMURS Section 4.4.9, can calm traffic by increasing driver caution, contribute to pedestrian comfort by providing a buffer between the vehicular carriageway and foot/cycle path and provide good levels of passive security. The public areas fronting and within the proposed development have been designed by the multidisciplinary design team to accommodate pedestrians and cyclists in accordance with the appropriate principles and guidelines set out the Design Manual for Urban Roads and Streets.

It is considered that the proposed development is compliant with the connectivity objectives of DMURS.

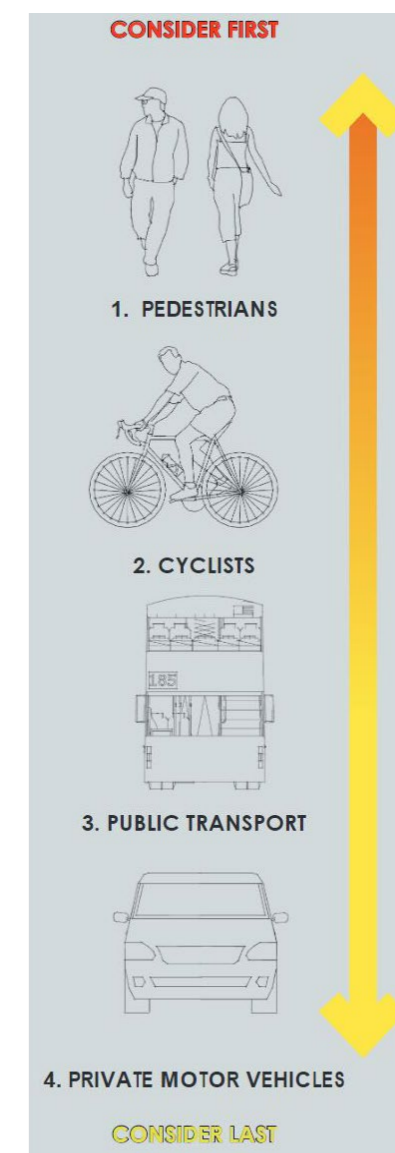


Image above extracted from DMURS

Universal Design Units

It is an objective of Dublin City Council:

“QHSN011 - Universal Design

To ensure that 50% of apartments in any development that are required to be in excess of minimum sizes should be designed to be suitable for older people/mobility impaired people, people living with dementia and people with disabilities in accordance with the guidelines set out in the Universal Design Guidelines for Homes in Ireland 2015, the DHLG&H’s Design Manual for Quality Housing 2022 and the DHP&LG & DH’s Housing Options for Our Ageing Population Policy Statement 2019.”

At Block 5, 25% of apartments are designed in accordance with The Universal Design Guidelines for Homes in Ireland 2015 while at Block 6 this figure is 30%. The development aims to be as inclusive and diverse as possible and therefore the UD apartments are dispersed across the block floor plans and cores, rather than concentrated in a single core.

Examples of the typical Universal Design units for Block 6 are illustrated adjacent and below.

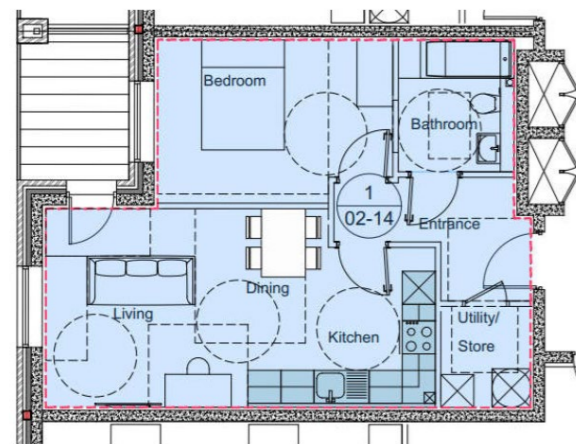


Figure 13.2 - Typical 1 Bed Universal Design Apartment within Block 6

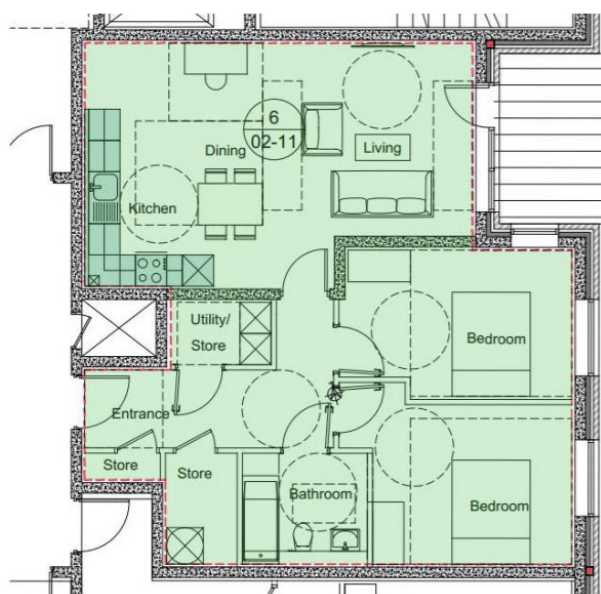


Figure 13.3 - Typical 2 Bed Universal Design Apartment within Block 6



Figure 13.1 - Block 6 Second Floor Plan showing locations of UD units

This chapter makes reference to the Universal Design Guidelines for Homes in Ireland published by the Centre for Excellence in Universal Design and the National Disability Authority. Much of the design criteria for UD Homes can be employed and are listed below.

Entering the Home

1. Entrance to apartment building is in a logical location and readily identifiable from the pavement.
2. Lighting will be provided to illuminate the door; the home number and entry system separate to a P.I.R. light or general external light.
3. The entrance door will be provided with a level threshold of 5–10mm with chamfered, ramped or pencil-rounded edges.
4. Weather protection is provided by the sheltered zone at the entrance door 1800mm deep for the full width of the entrance.
5. All entrance landings will be sloped at 1:50 to direct water away from the door and will incorporate a flush drainage channel at the threshold.

Entrance Door to Apartment Buildings

6. The door will contrast visually with the adjacent walls / screens.
7. A clear space of 300mm on both the inside and outside of the entrance door on the leading-edge side will be provided.
8. A 300mm clear space on the leading edge of the door inside the entrance area for the depth of 1500mm will be provided.
9. Entrance doors will have min 1000mm clear opening.
10. All hinged entrance doors will be capable of opening more than 90 degrees.
11. All entrance doors will be glazed or have vision panels. Vision panels will be min 150mm wide, between 400-1600mm above floor level and no more than 200mm from leading edge.
12. All glazed doors will be easily distinguishable from their background with manifestations between 850mm-1000mm and 1400mm-1600mm above floor level.
13. All glazed doors will have safety glass.
14. Kick plates will be provided to protect door. Plates will extend full width of door to 400mm above floor level.
15. Provision for cable spur and actuator for future adaptation.
16. The door will have robust and well-designed ironmongery that contrasts in tone or colour with the background surface. Pull / lever handles in lieu of knobs. Handles positioned between 800mm-1100mm above floor level. Lever handle to return to door leaf to avoid catching clothes.
17. Finger plates will be provided, min 350mm in height, located 1100mm above floor level.
18. Door locks will be positioned above the handle or 72mm below so it can be easily distinguished.

Access Control for Apartment Buildings

19. Visual Audio Intercom will be provided, positioned to the handle side of the door. Intercom will contrast in colour to background.
20. Intercom will be positioned at max 1200mm with buttons 1000mm-1200mm.
21. Fob entry will be provided for Residents.

Hallways & Lobbies for Apartments

22. Recessed mat wells flush with adjacent floor surface
23. Internal glazed screens will be constructed of safety glass.
24. Manifestations will be provided between 850mm-1000mm and 1400mm-1600mm above floor level.
25. Banks of letter boxes will be provided with half at max 1100mm above floor level. Boxes will be deep enough for long envelopes. Boxes will be well lit, min 100lux and easily identifiable from background.
26. Entrance lighting will be designed to ease transition between external/ internal spaces, min 150 lux to prevent casting of shadows.
27. Time delay switches to accommodate needs of all users i.e. length of time delay, method of operation, location, and height.
28. Lobbies from car park will be min 1600mm between door swings.
29. 600mm leading edge will be provided to allow passing at door.

Corridors in Apartment Buildings

30. Communal corridor widths of 1800mm will be provided with passing places where corridor is less than 1800mm.
31. There are no changes of levels within a storey.
32. Corridors will be well lit and ventilated.
33. Acoustic dampening will be provided to avoid excessive noise.
34. Fire doors are kept to a min within communal corridors with max 1 door per corridor. All doors are provided with glazing and easily identifiable.
35. Corridors will be distinguishable at different levels by colour coding and enlarged signage.

Communal Stairs in Apartment Buildings

36. Handrail overruns 300mm beyond first and last step. Handrails will be positioned between 900-1000mm above pitch line and 1100mm above landings. Handrails returned to wall or downwards.
37. Contrast nosings will be provided to each step.
38. Handrails will be circular profile and continuous on both sides of stairs/ landings with min 75mm gap to underside of handrail.
39. Max 1800mm rise between landings, Max 12 risers.
40. No winders – straight flights of stairs.
41. Landings are same width as stairs / min 1200mm clear of door swings.
42. Stairs will be finished with non-slip materials.
43. Lighting to stairs will be min 150lux.
44. Stairs are located at an angle to the direction of travel.

Entrance Hall in Apartments

45. Entrance hallways will have a clear space of 1500x1500mm.
46. Hallways are well lit min 200 lux measured at floor level. Lighting provided with dimmer switch.

Corridor and Internal Doors

47. Internal Corridors will be between 1050mm-1200mm.
48. Lighting level will be min 100lux at floor level.
49. All internal doors will have a flush floor transition and a 300mm clear area beside the leading edge.
50. Doors or architraves will be colour and tone-contrasted with the adjacent walls for good orientation and wayfinding.

Living Area

51. The Living area width will be min 3.3m clear for one bed and 3.6m for two beds.
52. The Living area can accommodate a 1500mm turning circle.
53. There is provision for a clear 750mm route in front of windows and routes between doors.

Dining Area

54. The Dining area can accommodate a 1200mm clear space on at least 2 consecutive sides of a table.
55. The Dining area is immediately adjacent to the kitchen.

Kitchen

56. The Kitchen is not the main thoroughfare through the home.
57. The Kitchen layout can be in a 'U' or 'L'-shape and can accommodate the sink being more than 460mm from any return and spacings of min. 300mm from hob and oven.

Bedroom

58. Bedroom is 13.5 sqm in area.
59. Clear access space of 800mm is available on both sides and end of a double bed.
60. The Bedroom can accommodate a 1500mm turning circle.
61. The Bathroom is located immediately adjacent to the Bedroom and the dividing wall will have a soft spot for the future installation of a door.

01 CONTEXT How does the development respond to its surroundings?

- The development seems to have evolved naturally as part of its surroundings
- Appropriate increases in density respect the form of buildings and landscape around the site's edges and the amenity enjoyed by neighbouring users
- Form, architecture and landscaping have been informed by the development's place and time
- The development positively contributes to the character and identity of the neighbourhood
- Appropriate responses are made to the nature of specific boundary conditions

The proposed site layout for Blocks 5 and 6 seeks to achieve a cohesive integration of residential areas and well-designed streets with the existing context in Clongriffin. It prioritises both active frontages and passive surveillance to establish a secure and interconnected neighbourhood.

The scale and massing of Blocks 5 and 6 respond to the existing context and their location at the junction between the suburban scale houses to the west and the more urban grain of Clongriffin centre to the south east. The blocks lie at the appropriate point of density increase within the urban fabric which align with the SDRA 1 Clongriffin/Belmayne and Environs Guiding Principles Map. Blocks 5 and 6 are lower in height at the western edges at 4 to 5 storeys with the highest 7 storey elements located at the eastern side against the backdrop of the new Grant Park.

The extension of the pedestrian and cycle priority routes from Belltree Park along Market Street and Dargan Street will enhance the amenity enjoyed by neighbouring users. The siting of the Community, Arts and Cultural spaces fronting onto these streets will further enhance its grounding within the existing context.

The material palette chosen will also facilitate in knitting the proposals into the context, with similar choices of materials, a continuation of street and effective completion of the public realm.

02 CONNECTIONS How well connected is the new neighbourhood?

- There are attractive routes in and out for pedestrians and cyclists
- The development is located in or close to a mixed-use centre
- The development's layout makes it easy for a bus to serve the scheme
- The layout links to existing movement routes and the places people will want to get to
- Appropriate density, dependent on location, helps support efficient public transport

This is an infill development located adjacent to Clongriffin town centre. The increased density of these blocks is appropriate since they are located within 500m walking distance of the bus terminus and Dart Station at Station Square.

The development will strengthen connections for pedestrians and cyclists to Belltree Park in the west and north-south between Main Street and Marrsfield Avenue. The urban design strategy prioritises connecting the new development with the surrounding neighborhood. The completion of the streets surrounding Blocks 5 and 6 will increase the variety of secondary routes and connections available to new and existing residents of Clongriffin and enhance permeability within the neighbourhood.

03 INCLUSIVITY How easily can people use and access the development?

- New homes meet the aspirations of a range of people and households
- Design and layout enable easy access by all
- There is a range of public, communal and/or private amenity spaces and facilities for children of different ages, parents and the elderly
- Areas defined as public open space that have either been taken in charge or privately managed will be clearly defined, accessible and open to all.
- New buildings present a positive aspect to passers by, avoiding unnecessary physical and visual barriers

The tenure mix of the proposed design will be a mix of 90% cost rental and 10% social units. In addition to this 28% of the residential units across the scheme are designed to incorporate universal design principles.

The proposed development has been carefully designed to adhere to the principles of universal design, taking into account publications like 'Universal Design Guidelines for Homes in Ireland 2015'. All homes feature level access, ensuring ease of entry for everyone. The communal amenity spaces at podium levels have been thoughtfully planned to ensure equal accessibility for individuals of different ages and physical abilities.

To cater to a diverse range of people and households, the development offers a variety of apartment types in terms of size and design. These apartments range from one to three-bedroom units, and there are different unit types, including duplexes at Block 5 podium level and own door units at ground floor, promoting active street frontages at the ground level.

By incorporating these considerations, the development aims to create an inclusive and accessible environment for all residents. It provides equal opportunities for individuals of varying abilities and ensures seamless movement throughout the development while also allowing for future connections and integration with surrounding areas.

04 VARIETY How does the development promote a good mix of activities?

- Activities generated by the development contribute to the quality of life in its locality
- Uses that attract the most people are in the most accessible places
- Neighbouring uses and activities are compatible with each other
- Housing types and tenure add to the choice available in the area
- Opportunities have been taken to provide shops, facilities and services that complement those already available in the neighbourhood

A range of apartment types are proposed at Blocks 5 and 6. There are 180 no. 1 bed units, 226 no. 2 bed units and 2 no. 3 bed units. Own door units at ground floor in Block 5 provide animation at street level and passive surveillance of surrounding streets.

The siting of the Community, Arts and Cultural spaces at ground floor level along Market Street and Dargan Street will maximise their visibility and presence as one approaches the new development from Clongriffin town centre or Belltree Park.

The arrangement of the apartment blocks creates a strong urban edge along Park Street, Belltree Avenue, Lake Street and Market Street, resulting in visual interest. The new park at Grant Park provides contrast to the built backdrop and an additional focal point within the existing green network established in Clongriffin.

Overall, the development offers a wide range of apartment types, thoughtfully arranged around communal courtyards, ensuring a pleasant living environment with access to green spaces and desirable urban views. The design prioritises daylight and adaptability to meet the diverse preferences and requirements of future residents.

05 EFFICIENCY
How does the development make appropriate use of resources, including land?

- The proposal looks at the potential of higher density, taking into account appropriate accessibility by public transport and the objectives of good design
- Landscaped areas are designed to provide amenity and biodiversity, protect buildings and spaces from the elements and incorporate sustainable urban drainage systems
- Buildings, gardens and public spaces are laid out to exploit the best solar orientation
- The scheme brings a redundant building or derelict site back into productive use
- Appropriate recycling facilities are provided

The site is located at approximately a 500 metre walk from the centre of Clongriffin. Both the town centre and station are easily walkable or cyclable. The development will as a result be less dependent on car transport.

The development will have a net density of c. 184 units per HA complying with the ‘Sustainable Residential Development and Compact Settlement Guidelines’.

The buildings will be energy efficient in their use as required by the Building Regulations. This will include high levels of insulation and air tightness. Fossil fuel based heating systems will be avoided.

06 DISTINCTIVENESS
How do the proposals create a sense of place?

- The place has recognisable features so that people can describe where they live and form an emotional attachment to the place
- The scheme is a positive addition to the identity of the locality
- The layout makes the most of the opportunities presented by existing buildings, landform and ecological features to create a memorable layout
- The proposal successfully exploits views into and out of the site
- There is a discernable focal point to the scheme, or the proposals reinforce the role of an existing centre

The distinctiveness of this development emanates from the perimeter nature of the blocks and strong street presence. This will form a very different experience from the adjoining two and three storey terraced houses.

The development presents a cohesive infill urban development that integrates with the existing context, taking into account factors such as height, scale, land uses, and open areas. This collective response establishes a new residential quarter within the area.

The introduction of a new park provides a positive addition to the locality with its tree planting and scale providing a different quality of open space from the existing collection of public open spaces within Clongriffin.

Overall, the scheme’s design prioritises the integration of streets, spaces, and open areas with the existing environment. The neighbourhood park at Grant Park, the shared surface pedestrian/cycling link along Market Street as well as the strong urban edges of Blocks 5 and 6 play pivotal roles in creating a well-connected, functional, and aesthetically pleasing residential quarter that seamlessly fits into the surrounding context.

07 LAYOUT
How does the proposal create people friendly streets and spaces?

- Layout aligns routes with desire lines to create a permeable interconnected series of routes that are easy and logical to navigate around.
- The layout focuses activity on the streets by creating active frontages with front doors directly serving the street
- The streets are designed as places instead of roads for cars, helping to create a hierarchy of space with less busy routes having surfaces shared by pedestrians, cyclists and drivers
- Traffic speeds are controlled by design and layout rather than by speed humps
- Block layout places some public spaces in front of building lines as squares or greens, and some semi private space to the back as communal courts

The proposals are laid out to make the most of this site with community uses and own door units providing active street frontages and passive surveillance at ground floor and high density residential uses above. This combination of uses enhances the human scale at street level, creating an inviting and vibrant environment. The podium courtyards are oriented to receive maximum south and east light, enhancing amenity value.

The street layout is legible and permeable. The blocks are laid out to provide a strong street edge along all streets in the new development.

08 PUBLIC REALM
How safe, secure and enjoyable are the public areas?

- All public open space is overlooked by surrounding homes so that this amenity is owned by the residents and safe to use
- The public realm is considered as a usable integrated element in the design of the development
- Children’s play areas are sited where they will be overlooked, safe and contribute to the amenities of the neighborhood
- There is a clear definition between public, semi private, and private space
- Roads and parking areas are considered as an integral landscaped element in the design of the public realm.

The scheme aims to establish an inviting public realm by employing effective place-making strategies, incorporating new public open space, and utilizing high-quality materials. The public realm encompasses a diverse range of interconnected spaces that cater to both passive and active recreational activities for the community.

Incorporated within the design are sustainable solutions that address stormwater management and biodiversity enhancement. This includes the integration of residential buffer planting and the strategic placement of trees along circulation routes. These elements contribute to the overall ecological balance and resilience of the development.

The public open space at Grant Park is overlooked by the apartments at Blocks 5 and 6. The shared surface at Market Street extends the existing public realm at Belltree Park and is equally well overlooked.

The visual impact of the street car parking provision is mitigated by tree and landscaping zones within the streetscape.

09 ADAPTABILITY
How will the buildings cope with change?

- Designs exploit good practice lessons, such as the knowledge that certain house types are proven to be ideal for adaptation
- The homes are energy-efficient and equipped for challenges anticipated from a changing climate
- Homes can be extended without ruining the character of the types, layout and outdoor space
- The structure of the home and its loose fit design allows for adaptation and subdivision, such as the creation of an annexe or small office
- Space in the roof or garage can be easily converted into living accommodation

The layout of all apartment types within the development adheres to and, whenever feasible, exceeds the standards set by TGD M 2010 in accordance with the Building Control Regulations. The Design Team also strived to align with the principles of Universal Design for the development, promoting accessibility and usability for individuals of all ages, sizes, abilities, and disabilities.

To ensure compliance with accessibility guidelines, various documents have been referenced, including “Universal Design Guidelines for Homes in Ireland.” The site plan and the design of the residential units have been carefully crafted to enable access, understanding, and utilization by a diverse range of individuals, regardless of their age, size, ability, or disability. These designs follow key principles, such as integration into the neighbourhood, ease of approach, entry, and movement, clear understandability and usability, as well as flexibility, safety, cost-effectiveness, and adaptability over time.

Each apartment block includes accessible lifts within their respective common lobbies. Additionally, simple flights of stairs without winders are provided to accommodate individuals with ambulant disabilities.

The emphasis on universal design principles ensures that the proposed development promotes inclusivity, enabling all residents to access, utilise, and navigate the spaces comfortably and independently.

10 PRIVACY AND AMENITY
How does the scheme provide a decent standard of amenity?

- Each home has access to an area of useable private outdoor space
- The design maximises the number of homes enjoying dual aspect
- Homes are designed to prevent sound transmission by appropriate acoustic insulation or layout
- Windows are sited to avoid views into the home from other houses or the street and adequate privacy is affordable to ground floor units.
- The homes are designed to provide adequate storage including space within the home for the sorting and storage of recyclables.

Privacy is a critical aspect of quality residential design. Every apartment has a terrace or balcony that meets the required areas of the “Sustainable Urban Housing: Design Standards for New Apartments 2023.” Ground floor apartments have a landscaped threshold space to the front.

The principal windows of bedrooms and living rooms are sited to avoid direct overlooking. Every dwelling type has purpose-built internal storage that meets the standards of the “Sustainable Urban Housing: Design Standards for New Apartments 2023.” Dwellings will be insulated for sound-proofing in accordance with the Building Regulations.

11 PARKING
How will the parking be secure and attractive?

- Appropriate car parking is on-street or within easy reach of the home’s front door.
- Parked cars are overlooked by houses, pedestrians and traffic, or stored securely, with a choice of parking appropriate to the situation.
- Parking is provided communally to maximise efficiency and accommodate visitors without the need to provide additional dedicated spaces
- Materials used for parking areas are of similar quality to the rest of the development
- Adequate secure facilities are provided for bicycle storage

Car parking quantum will be provided in line with the requirements of the “Sustainable Urban Housing: Design Standards for New Apartments 2023.” Car parking for Blocks 5 and 6 will be a mix of on-street and off-street parking. An overall car parking rate of 0.63 no. spaces per dwelling is proposed for the development.

Based on the Development Plan requirements EV charging will be incorporated into the layout with EV charging points at 50% of the proposed parking spaces and appropriate infrastructure (e.g. ducting) to allow for future fit out of a charging point at all parking spaces. The EV charging parking spaces will be located off-street in the under podium parking areas.

Bicycle parking is in line with the requirements of “Sustainable Urban Housing: Design Standards for New Apartments 2023.” Bicycle parking for all apartment residents will be located within the privately managed curtilage of each block

12 DETAILED DESIGN
How well thought through is the building and landscape design?

- The materials and external design make a positive contribution to the locality
- The landscape design facilitates the use of the public spaces from the outset
- Design of the buildings and public space will facilitate easy and regular maintenance
- Open car parking areas are considered as an integral element within the public realm design and are treated accordingly
- Care has been taken over the siting of flues, vents and bin stores

The detailed drawings indicate the proposed finishes which have been chosen for their attractiveness, durability and low-maintenance. Brick is the predominant material to be used on the buildings on the street elevations. Some rendered areas are proposed to the courtyard facing elevations and some profiled metal cladding is proposed to the recessed penthouse units.

The brick to be selected will be a palette of red and buff cream type, subject to Local Authority approval. Parking bays will be finished in permeable paving as indicated on the landscape drawings.

Aluminum or PVC window frames, rainwater goods, fascia and soffits require little to no maintenance beyond regular light cleaning.

Public streets will be landscaped with street trees grown in structural tree pits to ensure their health and longevity and avoiding impact on underground services.

Sustainable Residential Development and Compact Settlements: Guidelines for Planning Authorities

Appendix D: Design Checklist of Quality Urban Design & Placemaking

1. Sustainable and Efficient Movement

This is an infill development on a greenfield site which plugs into the existing street network which has been constructed to wearing course where it is not already complete.

The site is located at approximately a 500 metre walk from the centre of Clongriffin with the train station and high frequency bus service terminus at Station Square. Both the town and station are easily walkable or cyclable. The development will as a result be less dependent on car transport. Car parking provision is in line with the 'Sustainable Residential Development and Compact Settlement Guidelines'.

The proposal adds new surrounding streets which connects the proposed development towards Dargan Street and Clongriffin town centre to the east, northwards to Marrsfield Avenue and southwards to Main Street Clongriffin.

2. Mix of Land Uses.

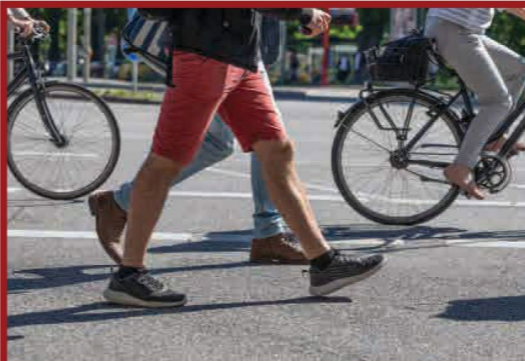
The development comprises 408 apartments as well as a creche and community, arts and cultural spaces. Adjacent housing is two and three storey houses so the introduction of more urban grain residential blocks at Blocks 5 and 6 will help to balance the overall mix of land uses within Clongriffin. The addition of Grant Park as new public open space will also enhance the mix of uses for both new and existing residents.

3. Green and Blue Infrastructure

The main open space is located centrally within the scheme where it is overlooked by the eastward looking apartments of Blocks 5 and 6. Its position enables it to act as a social focus as one approaches the new development from the centre of Clongriffin.

4. Responsive Built Form

The layout is coherent and legible with well-defined edges to streets and public spaces. The scheme will have a strong sense of identity within Clongriffin.



Sustainable and Efficient Movement

Ensuring places are well connected and accessible by sustainable modes. Also acknowledging that quality of journey is equally important and that places are perceived as safe and are not dominated cars.




Mix and Distribution of Uses

Promoting the integration of land uses and transportation and a diverse and innovative mix of housing that can facilitate compact housing and provide greater housing choice.



Green and Blue Infrastructure

Placing and emphasis on the protection of natural assets and biodiversity, whilst also taking a more strategic view as to how open space networks are formed to balance the needs of communities.



Responsive Built Form

Placing an emphasis on the creation of a coherent urban structure and design approach that responds to local character and is attractive.

17.0 | ARCHITECTURAL DESIGN STATEMENT SUMMARY

Table 15.2 of the Dublin City Development Plan 2022-2028 outlines the information requirements for Design Statements. For ease of reference see table below with the relevant locations of this information within the Architectural Design Statement and the planning application submission.

Table 15.2: Information Requirements for Design Statements	
Residential Developments	
Site Location and Description	Architectural Design Statement, Chapter 1 - Site Location & Description
Context and Setting	Architectural Design Statement, Chapter 2 - Context & Setting
Urban Design Rationale	Architectural Design Statement, Chapter 4 - Urban Design Rationale
Design Evolution / Alternatives Considered	Architectural Design Statement, Scheme Summary
Block Layout and Design	Architectural Design Statement, Chapter 8 - Block Layout & Design
Site Connectivity and Permeability	Architectural Design Statement, Chapter 6 - Site Connectivity & Permeability
Height, Scale and Massing	Architectural Design Statement, Chapter 5 - Height, Scale & Massing
Materials and Finishes	Architectural Design Statement, Chapter 10 - Materials and Finishes
Open Space (Private, Communal, Public)	Architectural Design Statement, Chapter 7 - Open Space & Chapter 12 - Residential Amenity
Public Realm Contribution	Architectural Design Statement, Chapter 8 - Block Layout & Design
Compliance with Internal Design Standards	Architectural Design Statement, Chapter 11 - Compliance with Internal Design Standards
Daylight and Sunlight	Refer to Daylight and Sunlight Report by Delap & Waller submitted as part of the planning application, Chapter 12 - Residential Amenity
Overlooking, Overbearing, Overshadowing	Architectural Design Statement, Chapter 12 - Residential Amenity
Car and Cycle Parking	Architectural Design Statement, Chapter 12 - Residential Amenity
Management / Lifecycle Report	Refer to Building Life Cycle Report submitted as part of the planning application.
Compliance with DMURS	Architectural Design Statement, Chapter 13 - Compliance with DMURS Refer to CS Consulting Reports also.
Safety and Security	Refer to Community Safety Strategy submitted as part of the planning application.
Universal Access	Architectural Design Statement, Chapter 14 - Universal Access

This scheme design was informed by all relevant national, regional and local planning and development policies, as well as over-arching urban design policy and best-practice guidance documents.

National Planning Framework: Project Ireland 2040
(Dept of Housing, Local Government and Heritage 2018)

Climate Action Plan 2023: Changing Ireland for the Better
(Dept of the Environment, Climate and Communications 2023)

Regional Spatial & Economic Strategy 2019 - 2031
(Eastern and Midlands Regional Assembly 2019)

National Sustainable Mobility Policy (Dept of Transport 2022)

Design Manual for Urban Roads and Streets (Dept of Transport, Tourism and Sport 2013)

Sustainable Residential Development and Compact Settlements, Guidelines for Planning Authorities
(Dept of Environment, Local Government and Heritage 2024)

Sustainable Urban Housing: Design Standards for New Apartments
(Dept of Housing, Local Government and Heritage 2022)

Urban Development and Building Heights (Dept of Housing, Planning and Local Government 2018)

Urban Design Manual: A Best Practice Guide
(Dept of Housing, Local Government and Heritage 2009)

Greater Dublin Area Transport Strategy 2022 - 2042 (National Transport Authority 2022)

Cycle Design Manual (National Transport Authority 2023)

Safe Routes to School (SRTS) Programme 2021
(National Transport Authority and Green-Schools 2020)

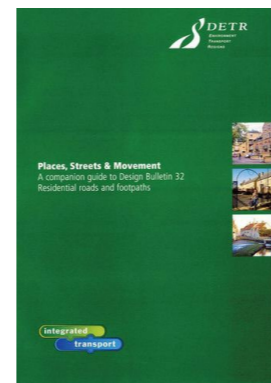
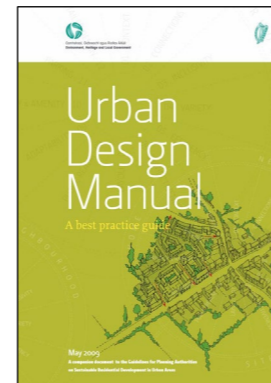
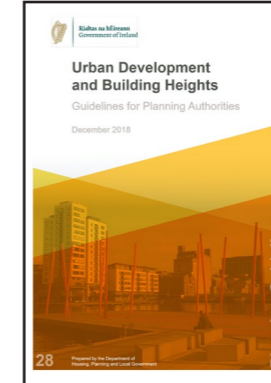
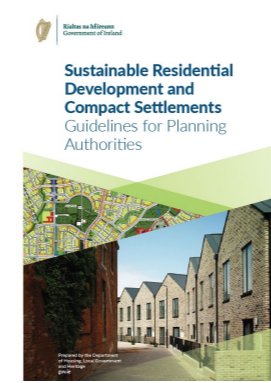
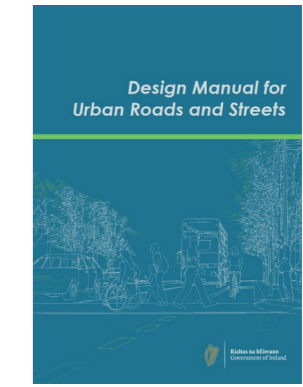
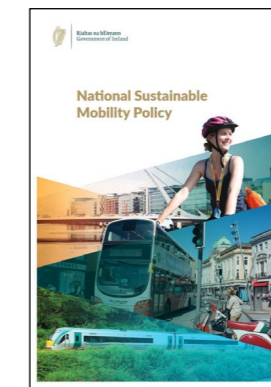
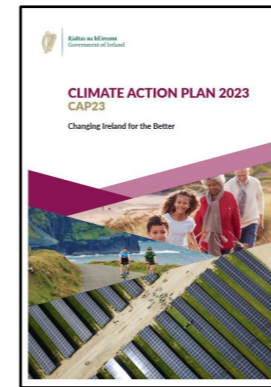
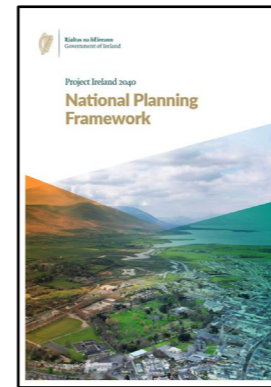
Building for Everyone: A Universal Design Approach, and Universal Design Guidelines for Homes in Ireland
(CEUD and National Disability Authority 2012 and 2015)

Quality Apartments and Urban Housing (Housing Agency and Urban Agency 2018)

Dublin City Development Plan 2022 - 2028

Urban Design Compendium (English Partnerships 2000)

Places, Streets & Movement (UK DETR 1998)





CLONGRIFFIN BLOCKS 5 & 6

Appendix A to Architectural Design Statement
Compensatory Measures with respect to Aspect

Proposed Development on behalf of Land Development Agency.

July 2024

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BLOCK 5

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Chapter 2

BLOCK 6

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1.1 Block 5 Overview

Block 5 has 3 apartments on a typical floor level which are dual aspect but whose primary aspect falls between 45 degrees of due north. These repeat at each floor level so in total at Block 5, 17 no. of apartments are dual aspect but whose primary aspect falls between 45 degrees of due north. The primary compensatory aspect for these apartments is designed into the building form along Dargan Street. The plan of the building steps so that the apartments in question have a easterly aspect to the new public park at Grant Park. A detailed study of each of these units on a typical floor level is illustrated in section 1.3 of this appendix and full compensatory aspects outlined.

The LRD opinion stated that units 05-0124, 05-01-25 and 05-01-26 were considered north west facing single aspect. More details on the aspect of these units in addition to compensatory measures are outlined in sections 1.2 and 1.4 of this document.

Block 5 - First Floor as typical

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
3	1	12	The plan form of the building is stepped to provide a view to Grant Park. The Living room has 2 windows, 1 north, and 1 east to the balcony with a view to Grant Park. 2.4m high glazing to balcony from living room. The apartment area is 82.7sqm, 13% above minimum.	5-00-04, 5-02-12, 5-03-12, 5-04-04, 5-05-04
4	1	17	The plan form of the building is stepped to provide a view to Grant Park. The Living room has a corner window, looking north and east to the balcony with a view to Grant Park. 2.4m high glazing to balcony from living room. The apartment area is 51.8sqm, 15% above minimum.	5-02-17, 5-03-17, 5-04-09, 5-05-09
4	1	18	The plan form of the building is stepped to provide a view to Grant Park. The Living room has a corner window, looking north and east to the balcony with a view to Grant Park. 2.4m high glazing to balcony from living room. The apartment area is 55.6sqm, 23% above minimum. The bedroom window is angled north-east to ensure no overlooking of adjacent balcony.	5-00-05, 5-02-18, 5-03-18, 5-04-10, 5-05-10
1	1	24	The Living room has a west view to the landscaped courtyard with a 24m distance to the 3 storey block at the west side of the courtyard. The apartment area is 55sqm, 22% above minimum. 2.4m high glazing to terrace from living room.	2 Bed unit above: 5-02-25, 5-03-25, 5-04-17
1	1	25	The Living room has a west view to the landscaped courtyard with a 24m distance to the 3 storey block at the west side of the courtyard. Additional privacy is provided to the terrace by the planted edge to the podium linear vent. The units at 4th and 5th floor level have a view across the roof top patio on the west side of Block 5 which is 3 storeys above podium level.	05-02-26, 05-03-26, 05-04-18, 05-05-17
1	1	26	The Living room has a west view to the landscaped courtyard with a 26m distance to the 3 storey block at the west side of the courtyard. The apartment area is 53sqm, 17% above minimum. The units at 4th and 5th floor level have a view across the roof top patio on the west side of Block 5 which is 3 storeys above podium level.	5-02-2, 5-03-27, 5-04-19, 5-05-18



Figure A.1 - Block 5 First Floor Plan with dual aspect apartments whose primary aspect falls within 45 degrees of due north and west-north-west facing single aspect apartments facing courtyard highlighted in yellow.



Figure A.2 - Block 5 First Floor Plan

Angled window to bedroom of adjacent apartment to ensure balcony privacy.



Figure A.3 - CGI of Block 5: View of north east corner on Lake Street and Grant Park.



Figure A.4 - Verified view montage looking west with Grant Park in foreground and Blocks 5 and 6 behind.

1.2 LRD Opinion - Units 24, 25 and 26

Block 5 - Units 24, 25 and 26

These units were highlighted in the LRD opinion as north west facing units. The opinion stated:

As stated within the Architectural Design Statement; Over 60% of the apartments are dual aspect and there are no single aspect north-facing apartments. However, it is noted that details on the aspect and orientation were not included as part of the HQA and it is considered that the proposal appears to include a number of single aspect north-east and north-west facing units which were not addressed within the Stage 2 LRD Opinion submission received 21st May 2024. For example, at Block 5 Units 05-01-24, 05-01-25, and 05-01-26 are single aspect north-west facing units (repeated to upper floors). Additionally, it is considered that the KLD window of 1- bed unit 05-01-26 (unit repeated to upper floors) is within a 45 degree angle of due north. These units overlook the internal courtyard and, as shown within the Daylight/Sunlight Impact Assessment, the KLD's appear to fail to meet the BRE 209 Guidance. Orientation and aspect should be stated within the HQA and the compensatory measures for any units failing the Daylight/Sunlight Impact Assessment shall be listed or preferably addressed by a redesign.

The diagram adjacent illustrates that these units are orientated 57 degrees west of due north so fall within a west-north-west orientation single aspect unit. The compensatory measures associated with these units are highlighted individually in the following pages. The KLD window of Unit 05-01-26 does not fall within a 45 degree angle of due north as noted in the LRD opinion. This is highlighted in the diagram below also. If is orientated 57 degrees west of due north.

Compensatory aspects in relation to the Daylight/Sunlight Impact Assessment of these units are listed in Appendix C of Delap and Waller Daylight and Sunlight report in addition to the compensatory measures in relation to aspect outlined in this appendix.



Figure A.65 - Block 5 First Floor Key Plan

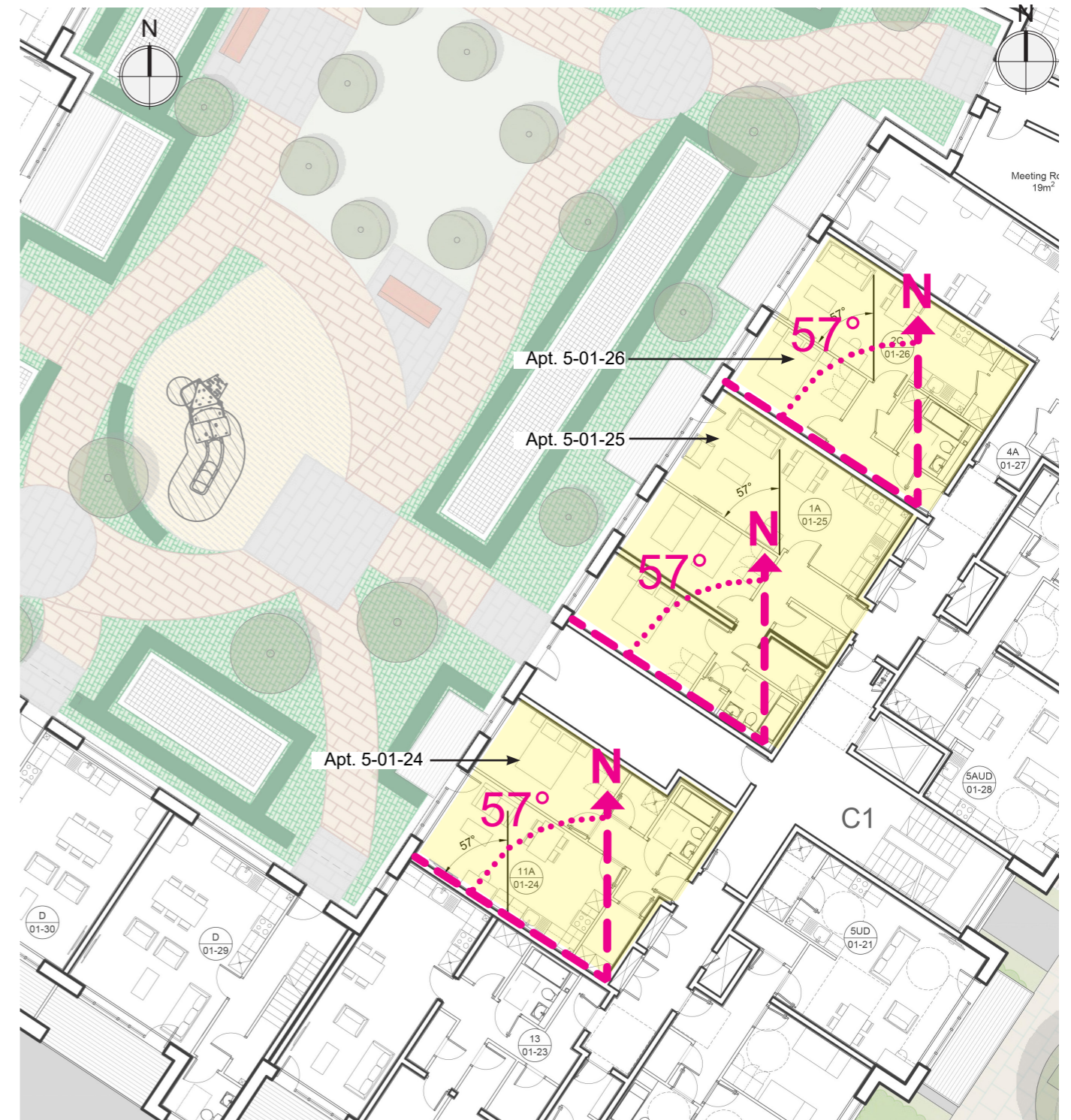


Figure A.6 - Block 5 First Floor Plan With Units 01-24, 01-25 and 01-26 highlighted.

1.3 Block 5 - Detailed view and compensatory aspects

Dual Aspect Units whose primary aspect falls within 45 degrees of due north

Block 5 - Units 5-00-04, 5-01-12, 5-02-12, 5-03-12, 5-04-04, 5-05-04

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
3	1	12	The plan form of the building is stepped to provide a view to Grant Park. The Living room has 2 windows, 1 north, and 1 east to the balcony with a view to Grant Park. 2.4m high glazing to balcony from living room. The apartment area is 82.7sqm, 13% above minimum.	5-00-04, 5-02-12, 5-03-12, 5-04-04, 5-05-04

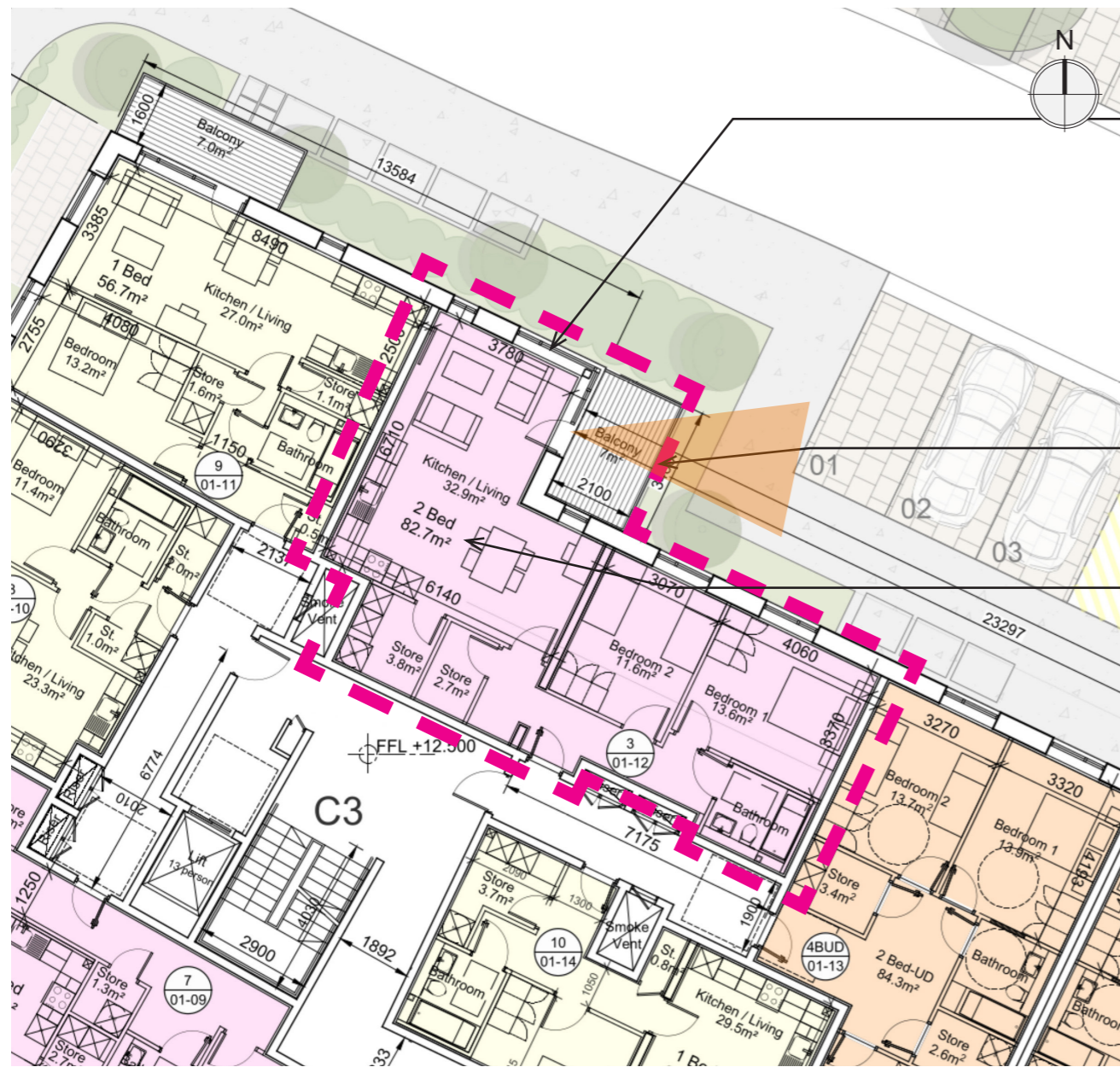


Figure A.7 - Block 5 First Floor Key Plan with Unit 05-01-12 highlighted

2.4m high glazing to corner living room window

Aspect to Grant Park to the east

Apartment area is 13% over minimum

Aspect to Grant Park to the east



Figure A.8 - Block 5 First Floor Key Plan



Figure A.9 - Verified view montage looking west with Grant Park in foreground and Blocks 5 and 6 behind.

Block 5 - Units 5-01-17, 5-02-17, 5-03-17, 5-04-09, 5-05-09

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
4	1	17	The plan form of the building is stepped to provide a view to Grant Park. The Living room has a corner window, looking north and east to the balcony with a view to Grant Park. 2.4m high glazing to balcony from living room. The apartment area is 51.8sqm, 15% above minimum.	5-02-17, 5-03-17, 5-04-09, 5-05-09

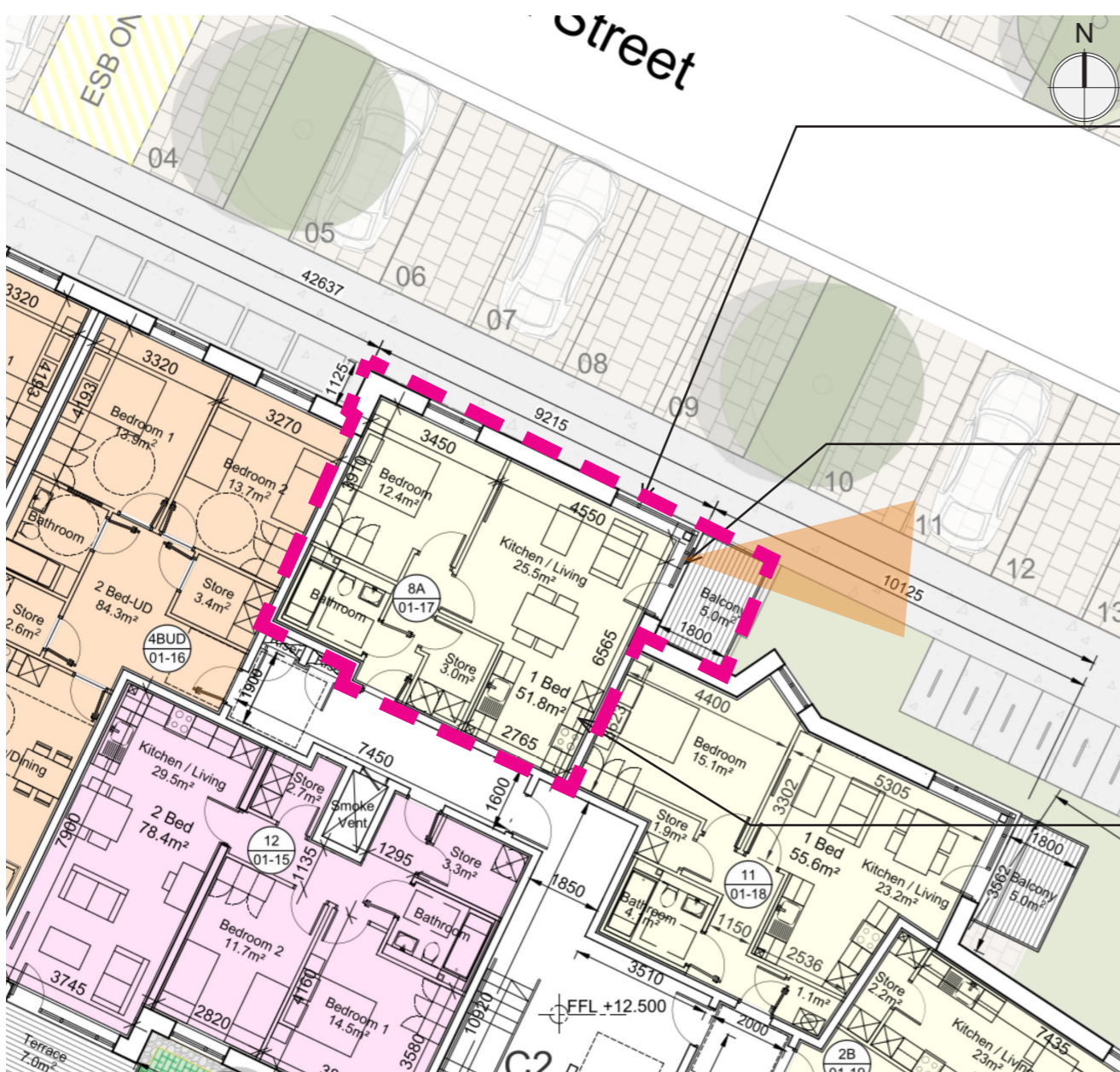


Figure A.10 - Block 5 First Floor Key Plan with Unit 05-01-17 highlighted

2.4m high glazing to corner living room window

Aspect to Grant Park to the east

Aspect to Grant Park to the east

Apartment area is 15% over minimum



Figure A.11 - Block 5 First Floor Key Plan



Figure A.12 - Verified view montage looking west with Grant Park in foreground and Blocks 5 and 6 behind.

Block 5 - Units 5-00-04, 5-01-12, 5-02-12, 5-03-12, 5-04-04, 5-05-04

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
4	1	17	The plan form of the building is stepped to provide a view to Grant Park. The Living room has a corner window, looking north and east to the balcony with a view to Grant Park. 2.4m high glazing to balcony from living room. The apartment area is 51.8sqm, 15% above minimum.	5-02-17, 5-03-17, 5-04-09, 5-05-09

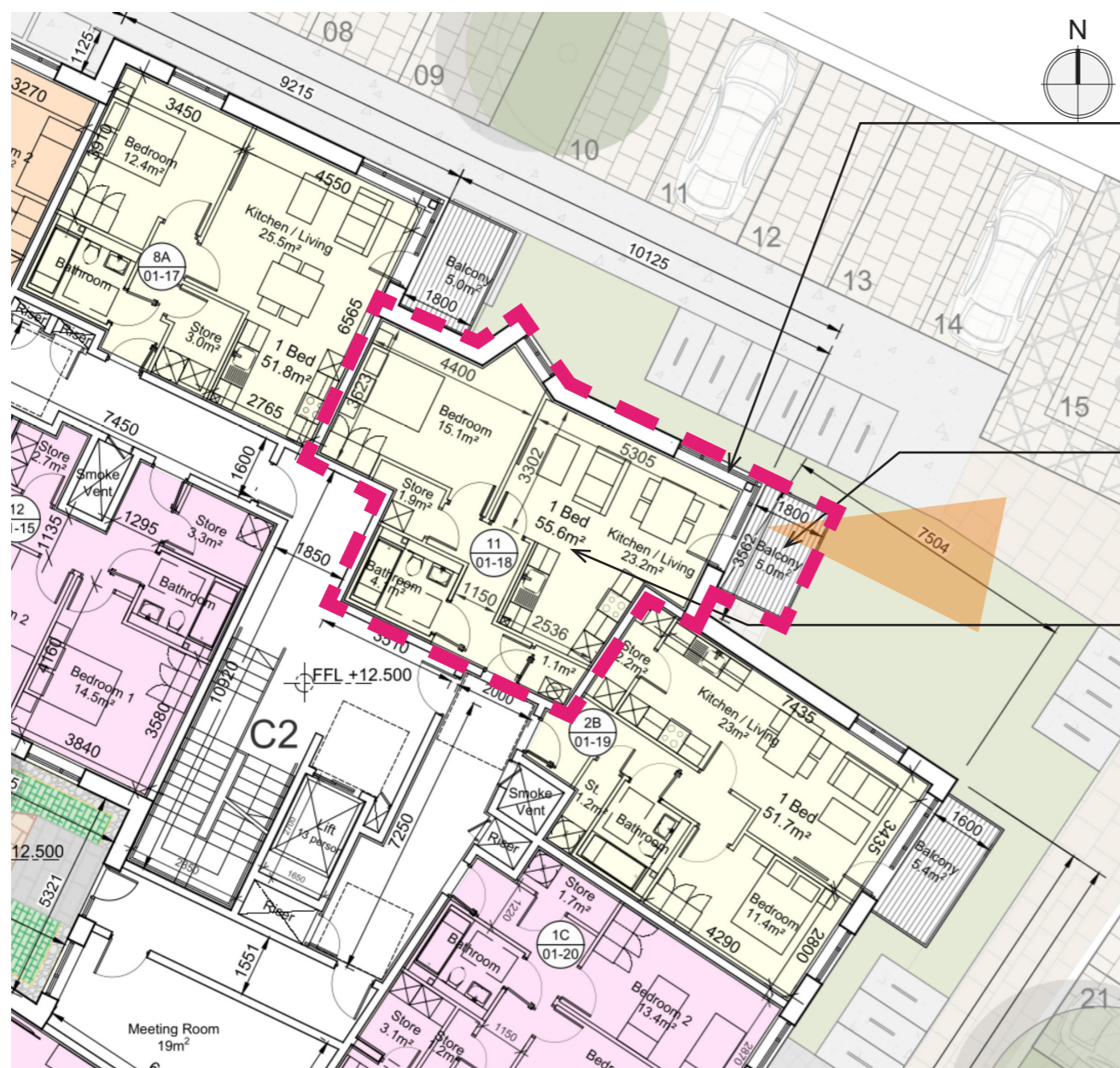


Figure A.13 - Block 5 First Floor Key Plan with Unit 05-01-12 highlighted

2.4m high glazing to corner living room window

Aspect to Grant Park to the east

Apartment area is 15% over minimum

Aspect to Grant Park to the east



Figure A.14 - Block 5 First Floor Key Plan



Figure A.15 - Verified view montage looking west with Grant Park in foreground and Blocks 5 and 6 behind.

1.4 Block 5 - Detailed view and compensatory aspects

Single Aspect Units which face West-North-West

Block 5 - Units 05-01-24, 05-02-25, 05-03-25, 05-04-17

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
1	1	24	The Living room has a west view to the landscaped courtyard with a 24m distance to the 3 storey block at the west side of the courtyard. The apartment area is 55sqm, 22% above minimum. 2.4m high glazing to terrace from living room.	This unit becomes a 2-bed unit on the floors above as outlined below.
1	2	25	The Living room has a west view to the landscaped courtyard with a 24m distance to the 3 storey block at the west side of the courtyard. 2.4m high glazing to balcony from living room.	05-03-25, 05-04-17



Figure A.16 - Block 5 First Floor Key Plan with Unit 05-01-24 highlighted



Figure A.17 - Block 5 First Floor Key Plan

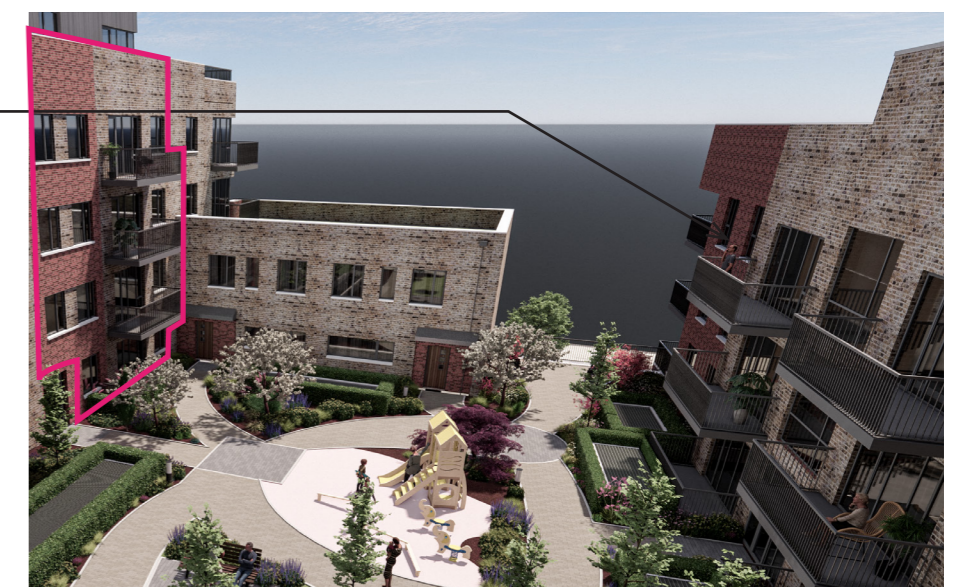


Figure A.18 - 3D view of Block 5 podium courtyard with facade of Units 05-01-24, 05-02-25, 05-03-25, 05-04-17.

Block 5 - Units 05-01-25, 05-02-26, 05-03-26, 05-04-18, 05-05-17

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
1	1	25	The Living room has a west view to the landscaped courtyard with a 24m distance to the 3 storey block at the west side of the courtyard. Additional privacy is provided to the terrace by the planted edge to the podium linear vent. The units at 4th and 5th floor level have a view across the roof top patio on the west side of Block 5 which is 3 storeys above podium level.	05-02-26, 05-03-26, 05-04-18, 05-05-17

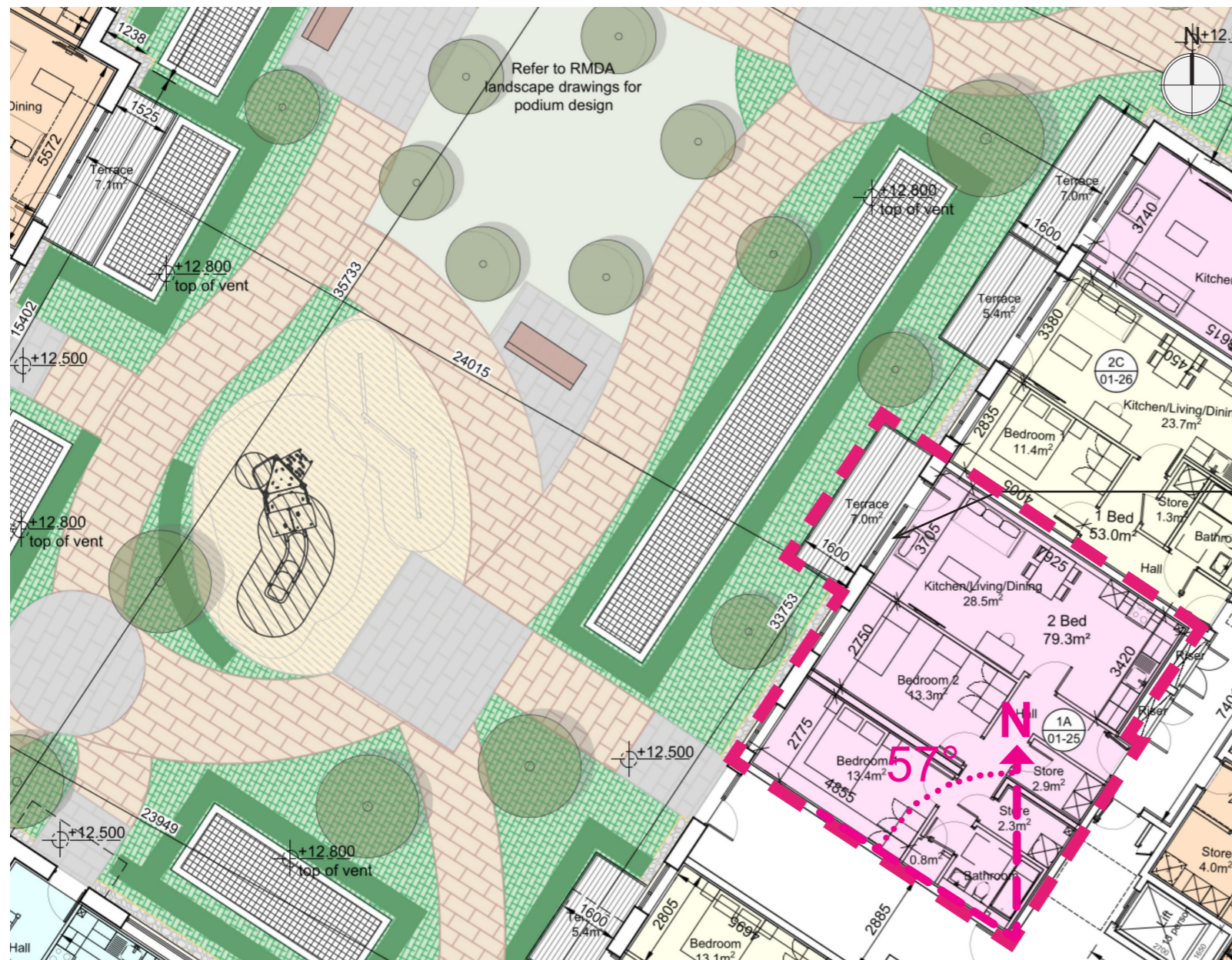


Figure A.19 - Block 5 First Floor Key Plan with Unit 05-01-25 highlighted



Figure A.20 - Block 5 First Floor Key Plan

2.4m high glazing to living room window

3-storey block to the west of courtyard located 24m away



Figure A.21 - 3D view of Block 5 podium courtyard with facade of Units 05-01-25, 05-02-26, 05-03-26, 05-04-18, 05-05-17

Block 5 - Units 05-01-26, 05-02-27, 05-03-27, 05-04-19, 05-05-18

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
1	1	26	The Living room has a west view to the landscaped courtyard with a 26m distance to the 3 storey block at the west side of the courtyard. The apartment area is 53sqm, 17% above minimum. The units at 4th and 5th floor level have a view across the roof top patio on the west side of Block 5 which is 3 storeys above podium level.	05-02-2, 05-03-27, 05-04-19, 05-05-18

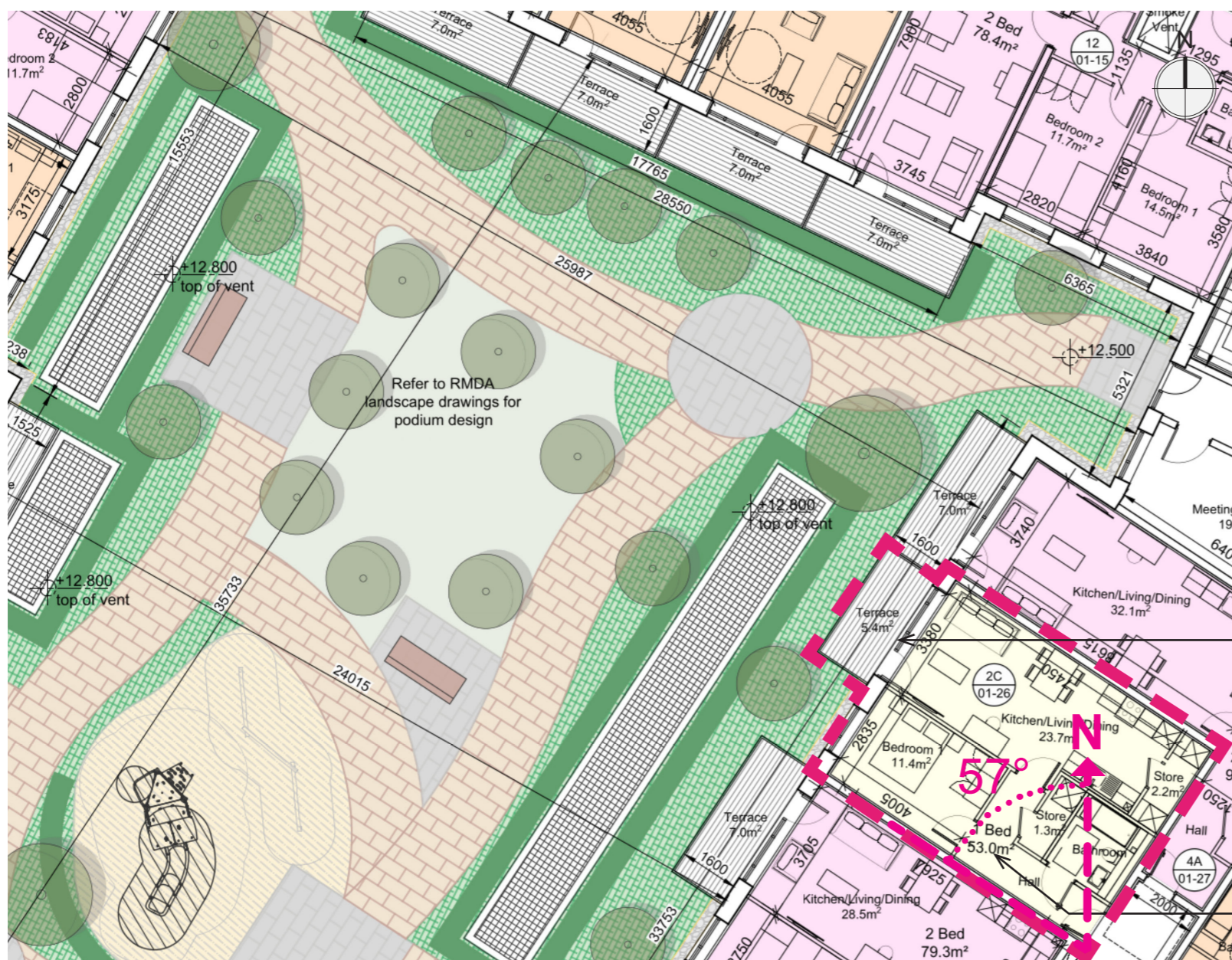


Figure A.22 - Block 5 First Floor Key Plan with Unit 05-01-26 highlighted



Figure A.23 - Block 5 First Floor Key Plan



Figure A.24 - 3D view of Block 5 podium courtyard with facade of Units 05-01-26, 05-02-27, 05-03-27, 05-04-19, 05-05-18

Block 6 Overview

'Section 28 Sustainable Urban Housing: Design Standards for New Apartments 2023 states in regard to single aspect that 'North facing single aspect apartments may be considered, where overlooking a significant amenity such as a public park, garden or formal space, or a water body or some other amenity feature.' It may be noted that the previous diagram and characterisation of north facing as being a quadrant between NW and NE has been omitted, as has the reference to 50% of the facade. The guidelines also state at 3.19 'For clarity, dual aspect apartments can include corner units'.

While a number of apartments are on the north facing facades of the buildings, they are generally on corners of the blocks formed by streets, gaps in the facade and deep setbacks with exposure to east or west aspects as applies. Long oblique views up and down streets in an east or west direction also facilitate a lower sun angle early or late in the day. Other apartments face the enclosed landscaped communal gardens.

Dual aspect requirements are relaxed in urban areas with good transport facilities as reflected in the 50% as opposed to 33% requirement. This acknowledges an expectation of greater intensity of building typologies and a need for perimeter blocks. Notwithstanding the high density urban form of the proposal, excellent dual aspect ratios have been achieved.

At ground floor level Block 6 has one north facing single aspect unit. On a typical floor level, Block 6 has 14 apartments which are dual aspect but whose primary aspect falls between 45 degrees of due north. The units in question repeat at each floor level from 1st floor level typically with 5 of these units occurring at ground floor level. There are 4 units at 4th and 5th floor penthouse levels of Blocks A and B which differ in plan from those below to allow a setback at the northern elevation.

In total at Block 6 with varying heights around the block, 78 no. of apartments are dual aspect but whose primary aspect falls between 45 degrees of due north and there is one north facing single aspect unit at ground floor level.

Block 6 - North Facing Single Aspect Unit at Ground floor

Core	Floor	Apt. No.	Compensatory aspects
B	0	11	The living room has a large window to the terrace 2.485m wide x 2.96m high with north aspect. In addition to this, two high level windows give west light to the living space. Generous floor to ceiling height of 3.6m. The buildings to the north are 30.8m away. The apartment area is 82sqm, 12% above minimum. The terrace and bedroom two have a north and west aspect. The building edge is set back 6.5m from the back of footpath to maximise privacy for this ground floor unit.

Block 6 - First Floor as typical

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
A	1	18	Corner apartment. Living room has 3 windows, 2 north to Belltree Avenue, and 1 west to oversized balcony with west aspect. Kitchen/Living room area is 33.2sqm, 10% over minimum. The distance from the westerly building face to the opposing face of 3-storey house gable (No. 63 Belltree Avenue) is 21.8m. The 2-storey house to the north is 16.8m away. The apartment area is 90sqm, 23% above minimum.	6-02-18, 6-03-18, 6-04-18
A	1	19	Corner apartment. Living room has 3 windows, 2 north to Belltree Avenue, and 1 east to balcony with east aspect. The distance from the easterly windows to the opposing face at 13.2m exceeds the Dev Plan diagram. There is no house facing immediately opposite this house to the north, just the rear garden of No. 29 Belltree Lane. The apartment area is 84.9sqm, 16% above minimum.	6-02-19, 6-03-19, 6-04-19
B	1	28	Corner apartment. Living room has 3 windows, 1 north to the balcony, and 2 west into deeper part of the living room. The distance from the westerly windows to the opposing face at 13.2m exceeds the Dev Plan diagram. The buildings to the north are 30.8m away. The apartment area is 82sqm, 12% above minimum.	6-02-28, 6-03-28, 6-04-26



Figure A.25 - Block 6 First Floor Plan

Block 6 - First Floor as typical (cntd.)

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
B	1	29	The Living room has 2 windows, 1 north to the balcony, and 1 east. The distance from the easterly windows to the opposing face exceeds Dev Plan diagram. The buildings to the north are 30.8m away. The apartment area is 50.5sqm, 12% above minimum.	6-00-12, 6-02-29, 6-03-29, 6-04-27
B	1	21	The westerly aspect has a long unobstructed view along the street conducive to late evening sun. The buildings to the north are 30.8m away. The apartment area is 80.1sqm, 10% above minimum.	6-00-13, 6-02-21, 6-03-21, 6-04-18
B	1	22	Corner apartment. Living room has 3 windows, 1 north to the balcony, and 2 east to Lake Street. The buildings to the north are 30.8m away. The apartment area is 84.9sqm, 16% above minimum.	6-00-14, 6-02-22, 6-03-22, 6-04-19
C	1	37	Corner apartment, predominantly west facing to the courtyard garden with additional north facing window to the deep plan area of the living room.	6-02-37, 6-03-37, 6-04-35, 6-05-22, 6-06-07
C	1	38	Corner apartment, predominantly east facing to Lake Street with additional north facing windows to the deep plan area of the living room.	6-00-15, 6-02-38, 6-03-38, 6-04-36, 6-05-23, 6-06-08
D	1	40	The Living room has 2 windows, 1 north to the garden and 1 west. The distance from the westerly windows to the opposing face exceeds Dev Plan diagram. It has 64.8m long view of the garden courtyard. The apartment area is 50.5sqm, 12% above minimum.	6-02-40, 6-03-40, 6-04-38, 6-05-25, 6-06-10
D	1	41	Corner apartment. Living room has 3 windows, 1 north to the balcony, and 2 east. The westerly aspect directly overlooks Grant Park. The bedroom have a 64.8m long view north to the garden courtyard. The apartment area is 82 sqm, 12% above minimum.	6-02-41, 6-03-41, 6-04-39, 6-05-26, 6-06-11
D	1	48	Corner apartment, predominantly north facing to the garden with additional west facing window to the deep plan area of the living room. It has 54.3m long view of the garden courtyard. The apartment area is 84.9sqm, 16% above minimum.	6-02-48, 6-03-48, 6-04-46, 6-05-33, 6-06-17
D	1	49	Corner apartment, predominantly north facing to the garden with additional east facing windows to the deep plan area of the living room. It has 54.3m long view of the garden courtyard. An east window views out of the site out to Grant Park. The apartment is 84.9sqm, 16% above minimum.	6-02-49, 6-03-49, 6-04-47, 6-05-34, 6-06-18
E	1	8	Corner apartment. Living room has 3 windows, 2 north and 1 west to oversized balcony with west aspect. Kitchen/Living room area is 33.2sqm, 10% over minimum. Oblique view from north facing windows to landscaped podium to the east. The apartment area is 90sqm, 23% above minimum.	6-00-07, 6-02-08, 6-03-08, 6-04-08
E	1	9	Corner apartment. Living room has 3 windows, 2 north and 1 east to balcony with east aspect. The easterly aspect overlooks the landscaped podium courtyard. The apartment area is 84.9sqm, 16% above minimum.	6-02-09, 6-03-09, 6-04-09, 6-05-04

Block 6 - Penthouse Units

Core	Floor	Apt. No.	Compensatory aspects
A	4	16	Penthouse level corner apartment. Living room has 2 windows and a glazed door, 1 north window, 1 north glazed door to terrace and 1 east window. The distance from the easterly windows to the opposing face at 13.2m exceeds the Dev Plan diagram. The apartment area is 59.5sqm, 32% above minimum. Private terrace at 4th floor penthouse level allows views to north, east and west.
B	5	6	Penthouse level corner apartment. Living room has 2 windows, 1 north window to terrace and 1 west facing window. West-facing living room window has unobstructed view to west over 4 storey block adjacent. Private terrace at 5th floor penthouse level allows views to north and west. The apartment area is 55sqm, 22% above minimum.
B	5	7	Penthouse level corner apartment. Living room has 3 windows, 1 north window to terrace and 2 east facing windows. Private terrace at 5th floor penthouse level allows views to north and east. The apartment area is 60sqm, 33% above minimum.
B	5	14	Penthouse level corner apartment. Living room has 2 windows, 1 north window to terrace and 1 west facing window. West-facing living room window has unobstructed view to west over 4 storey block adjacent. Private terrace at 5th floor penthouse level allows views to north and west.

2.2 Block 6 - North Facing Single Aspect Unit

Block 6 - Unit 06-00-11 at Ground floor

Core	Floor	Apt. No.	Compensatory aspects
B	0	11	The living room has a large window to the terrace 2.485m wide x 3m high with north aspect. In addition to this, two high level windows give west light to the living space. Generous floor to ceiling height of 3.6m. The buildings to the north are 30.8m away. The apartment area is 82sqm, 12% above minimum. The terrace and bedroom two have a north and west aspect. The building edge is set back 6.5m from the back of footpath to maximise privacy for this ground floor unit.

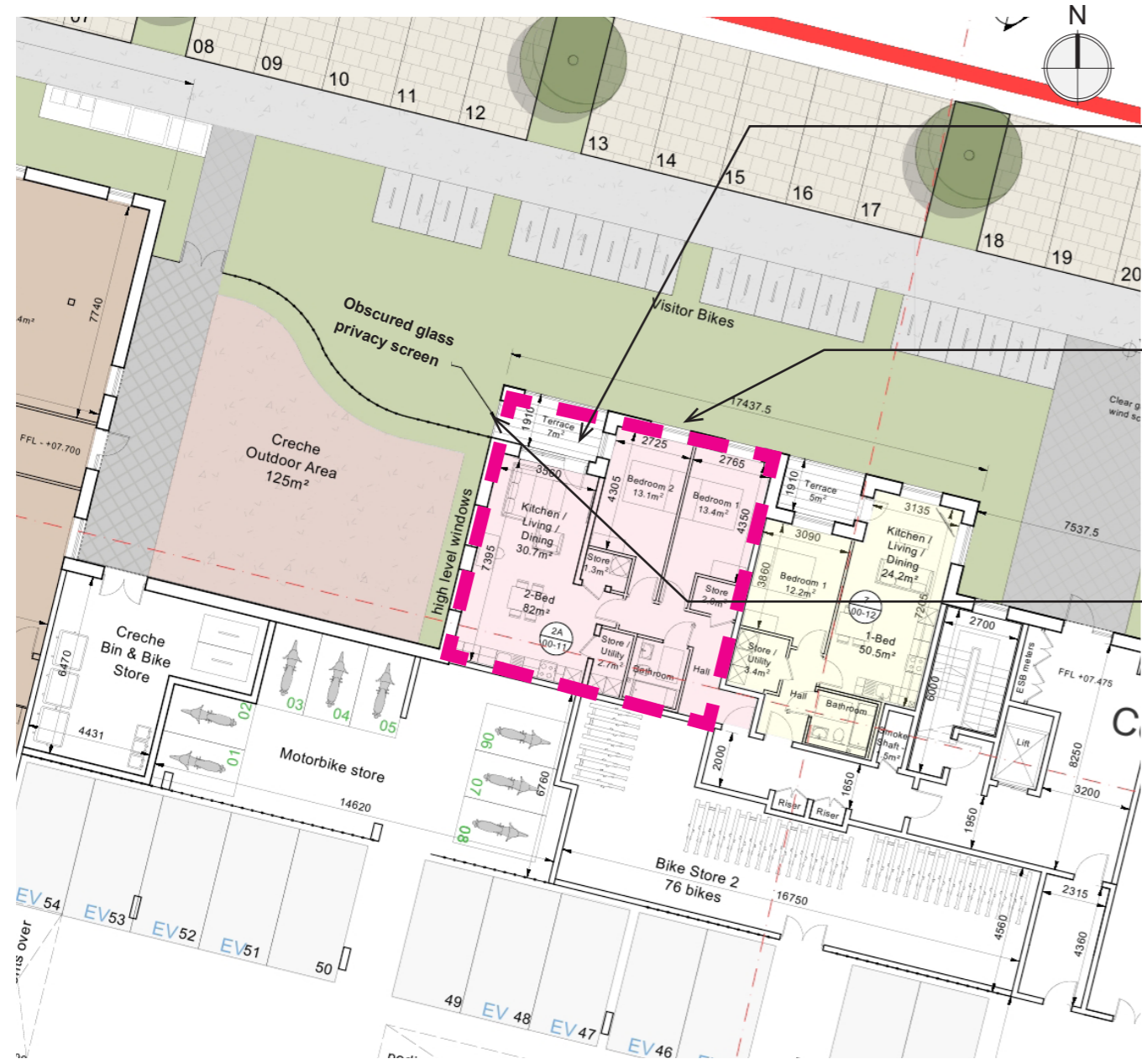


Figure A.27 - Block 6 Ground Floor Key Plan with Unit 06-00-11 highlighted

3m high glazing to corner living room window. In addition to this, two high level windows give west light to the living space.

The building edge is set back 6.5m from the back of footpath with extensive shrub planting in the front of the dwelling to maximise privacy for this unit. The buildings to the north are 30.8m away.

Obscured glass privacy screen west of the terrace

High level windows to the west

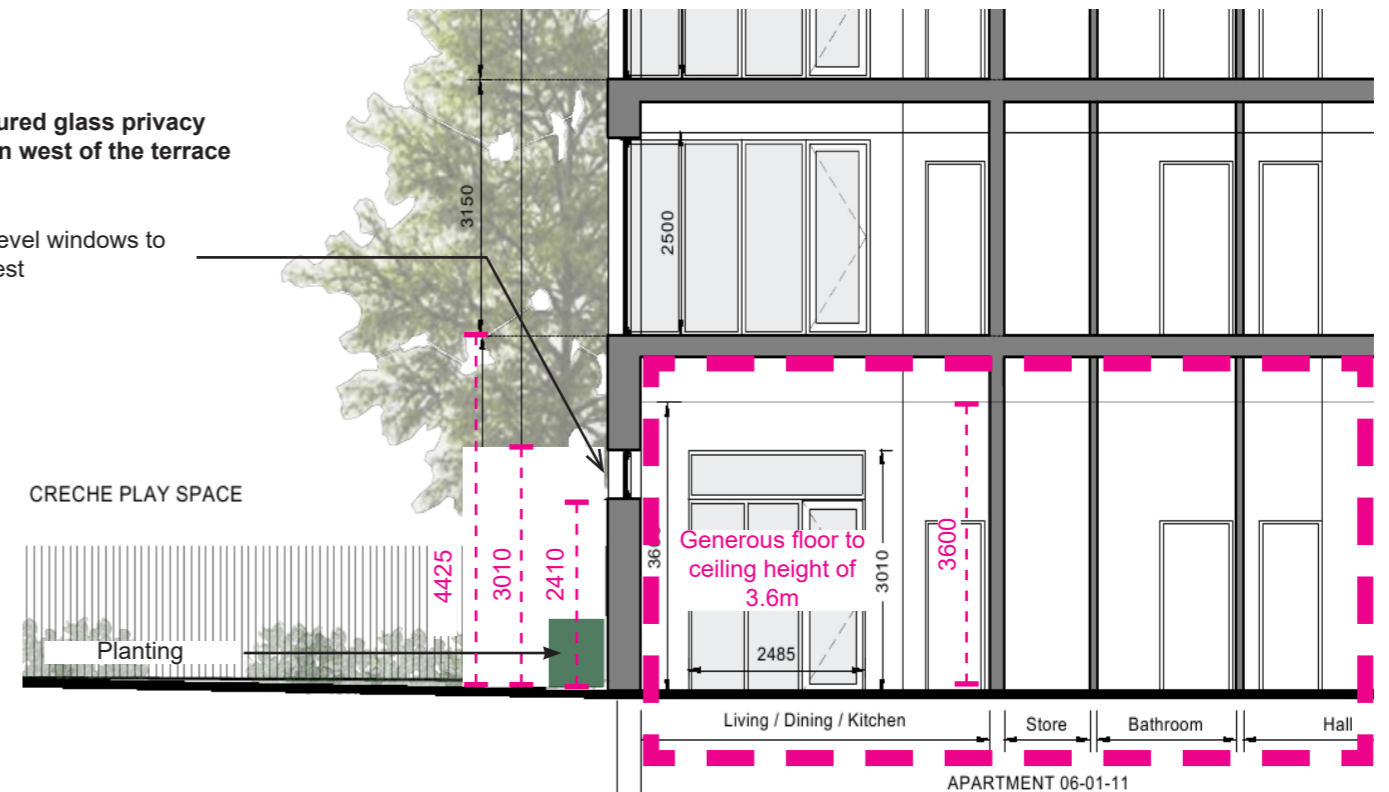


Figure A.29 - Section through Unit 06-00-11, showing the high level windows facing the creche play space

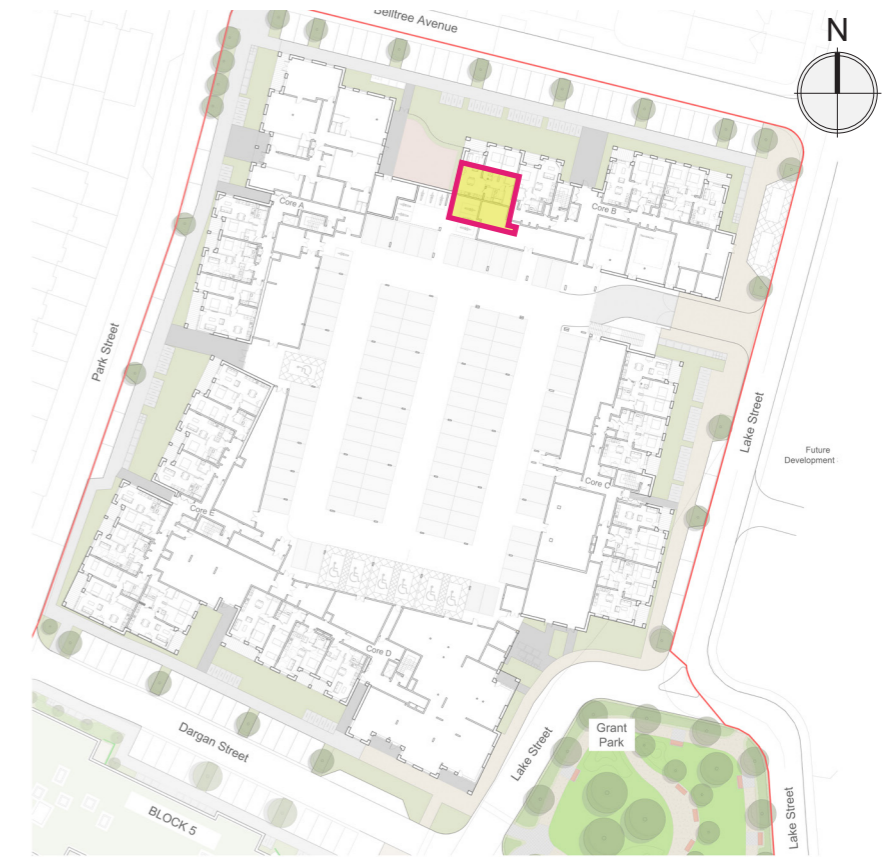


Figure A.28 - Block 6 Ground Floor Key Plan

2.3 Block 6 - Detailed view and compensatory aspects

Block 6 - Units 06-01-18 , 06-02-18, 06-03-18, 06-04-27

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
A	1	18	Corner apartment. Living room has 3 windows, 2 north to Belltree Avenue, and 1 west to oversized balcony with west aspect. Kitchen/Living room area is 33.2sqm, 10% over minimum. The distance from the westerly building face to the opposing face of 3-storey house gable (No. 63 Belltree Avenue) is 21.8m. The 2-storey house to the north is 16.8m away. The apartment area is 90sqm, 23% above minimum.	6-02-18, 6-03-18, 6-04-18



Figure A.30 - Block 6 First Floor Key Plan with Unit 06-01-18 highlighted

Living room has 3 windows, 2 north to Belltree Avenue, and 1 west to oversized balcony with west aspect. (2.4m high glazing to corner living)

Apartment area is 23% over minimum

3-storey block to the North located 21.8m away



Figure A.31 - Block 6 First Floor Key Plan



Figure A.32 - 3D Verified view looking east of Park Street. Blocks 6 behind facade of Units 06-02-18, 06-03-18, 06-04-18,

Block 6 - Units 06-01-19, 06-02-19, 06-03-19, 06-04-19

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
A	1	19	Corner apartment. Living room has 3 windows, 2 north to Belltree Avenue, and 1 east to balcony with east aspect. The distance from the easterly windows to the opposing face at 13.2m exceeds the Dev Plan diagram. There is no house facing immediately opposite this house to the north, just the rear garden of No. 29 Belltree Lane. The apartment area is 84.9sqm, 16% above minimum.	6-02-19, 6-03-19, 6-04-19



Figure A.33 - Block 6 First Floor Key Plan with Unit 06-01-19 highlighted

Living room has 3 windows, 2 north to Belltree Avenue, and 1 east to balcony with east aspect. (2.4m high glazing to corner living room window.)

Apartment area is 16% over minimum

3-storey House to the North located 21.8m away



Figure A.34 - Block 6 First Floor Key Plan



Figure A.35 - 3D view looking west at Belltree Avenue, Showing Blocks 6 facade of Units 06-02-19, 06-03-19, 06-04-19,

Block 6 - Units 06-01-28 ,06-02-28, 06-03-28, 06-04-28

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
B	1	28	Corner apartment. Living room has 3 windows, 1 north to the balcony, and 2 west into deeper part of the living room. The distance from the westerly windows to the opposing face at 13.2m exceeds the Dev Plan diagram. The buildings to the north are 30.8m away. The apartment area is 82sqm, 12% above minimum.	6-02-28, 6-03-28, 6-04-26

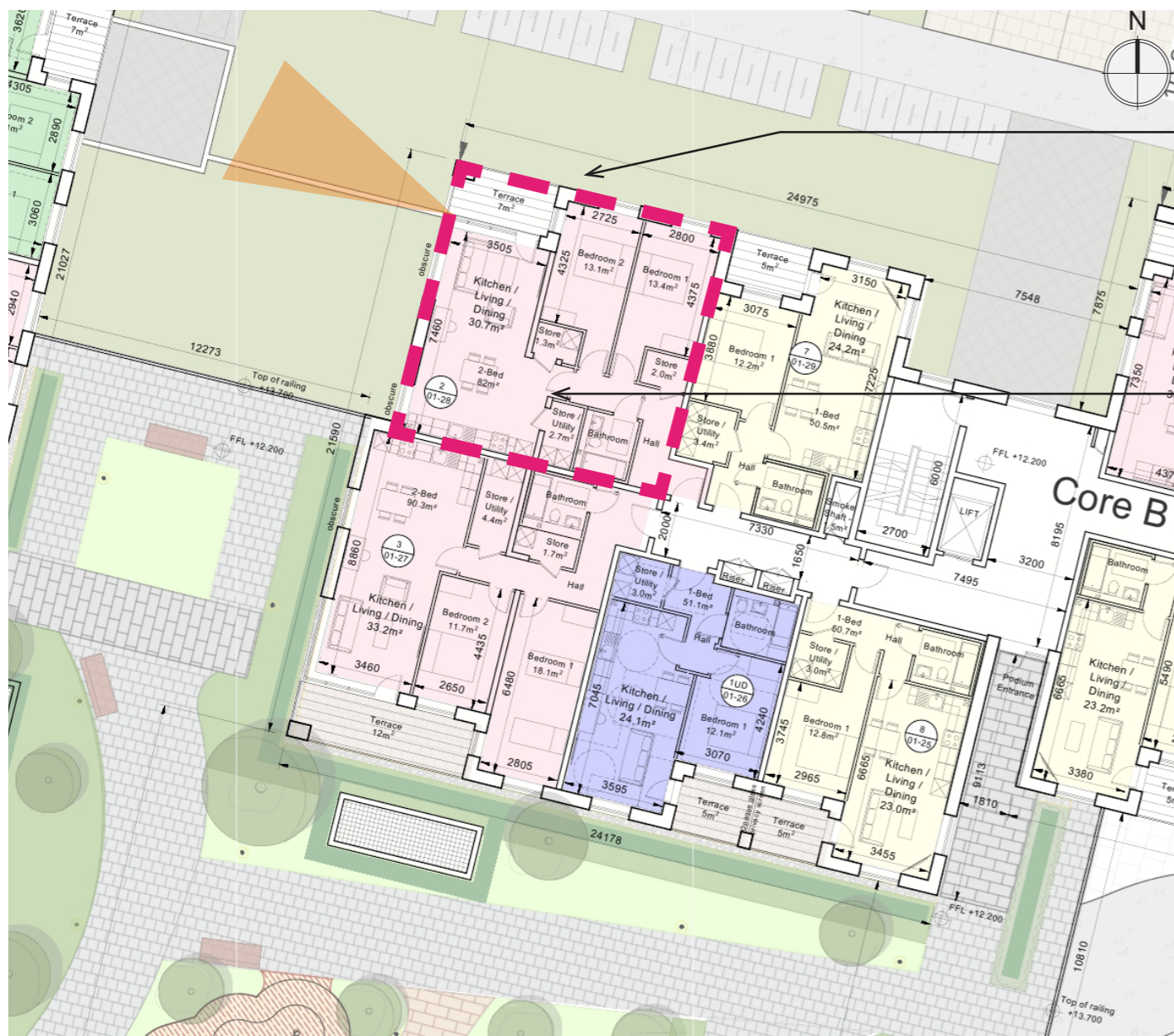


Figure A.36 - Block 6 First Floor Key Plan with Unit 06-01-28 highlighted

The building edge is set back 6.5m from the back of footpath to maximise privacy for this ground floor unit.

Apartment area is 12% over minimum

Living room has 3 windows, 1 north to the balcony, and 2 west into deeper part of the living room. (2.4m high glazing to living room window.)



Figure A.37 - Block 6 First Floor Key Plan



Figure A.38 - 3D Verified view along Belltree Avenue. Showing Blocks 6 facade of Units 06-01-28 ,06-02-28, 06-03-28, 06-04-28

Block 6 - Units 06-00-12, 06-01-29, 06-02-29, 06-03-29, 06-04-27,

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
B	1	29	The Living room has 2 windows, 1 north to the balcony, and 1 east. The distance from the easterly windows to the opposing face exceeds Dev Plan diagram. The buildings to the north are 30.8m away. The apartment area is 50.5sqm, 12% above minimum.	6-00-12, 6-02-29, 6-03-29, 6-04-27



Figure A.39 - Block 6 First Floor Key Plan with Unit 06-01-29 highlighted

The building edge is set back 6.5m from the back of footpath to maximise privacy for this ground floor unit and . The buildings to the north are 30.8m away.

Apartment area is 12% over minimum

The Living room has 2 windows, 1 north to the balcony, and 1 east. (2.4m high glazing to living room window.)



Figure A.40 - Block 6 First Floor Key Plan



Figure A.41 - 3D view along Belltree Avenue. Showing Blocks 6 facade of Units 06-00-12, 06-01-29, 06-02-29, 06-03-29, 06-04-27

Block 6 - Units 06-00-13, 06-01-21, 06-02-21, 06-03-21, 05-04-18

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
B	1	21	Corner apartment. Living room has 3 windows, 1 north to the balcony, and 2 west. The westerly aspect has a long unobstructed view along the street conducive to late evening sun. The buildings to the north are 30.8m away. The apartment area is 80.1sqm, 10% above minimum.	6-00-13, 6-02-21, 6-03-21, 6-04-18



Figure A.42 - Block 6 First Floor Key Plan with Unit 06-01-21 highlighted

Apartment area is 10% over minimum

Living room has 3 windows, 1 north to the balcony and 2 west. (2.4m high glazing to living room window.) The westerly aspect has a long unobstructed view along the street conducive to late evening sun. The buildings to the north are 30.8m away.



Figure A.43 - Block 6 First Floor Key Plan



Figure A.44 - 3D verified view along Belltree Avenue. Showing Blocks 6 facade of Units 06-00-13, 06-01-21, 06-02-21, 06-03-21, 05-04-18

Block 6 - Units 06-00-14, 6-01-22, 06-02-22, 06-03-22, 06-04-19

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
B	1	22	Corner apartment. Living room has 3 windows, 1 north to the balcony, and 2 east to Lake Street. The buildings to the north are 30.8m away. The apartment area is 84.9sqm, 16% above minimum.	6-00-14, 6-02-22, 6-03-22, 6-04-19



Figure A.45 - Block 6 First Floor Key Plan with Unit 06-01-22 highlighted

Apartment area is 16% over minimum

The Living room has 3 windows, 1 north to the balcony, and 2 east to Lake Street. (2.4m high glazing to living room window.)

The buildings to the north are 30.8m away.



Figure A.46 - Block 6 First Floor Key Plan



Figure A.47 - 3D verified view along Belltree Avenue. Showing Blocks 6 facade of Units 06-00-14, 6-01-22, 06-02-22, 06-03-22, 06-04-19.

Block 6 - Units 06-01-37 , 06-02-37, 06-03-37, 06-04-35, 06-05-22, 06-06-07

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
C	1	37	Corner apartment, predominantly west facing to the courtyard garden with additional north facing window to the deep plan area of the living room.	6-02-37, 6-03-37, 6-04-35, 6-05-22, 6-06-07

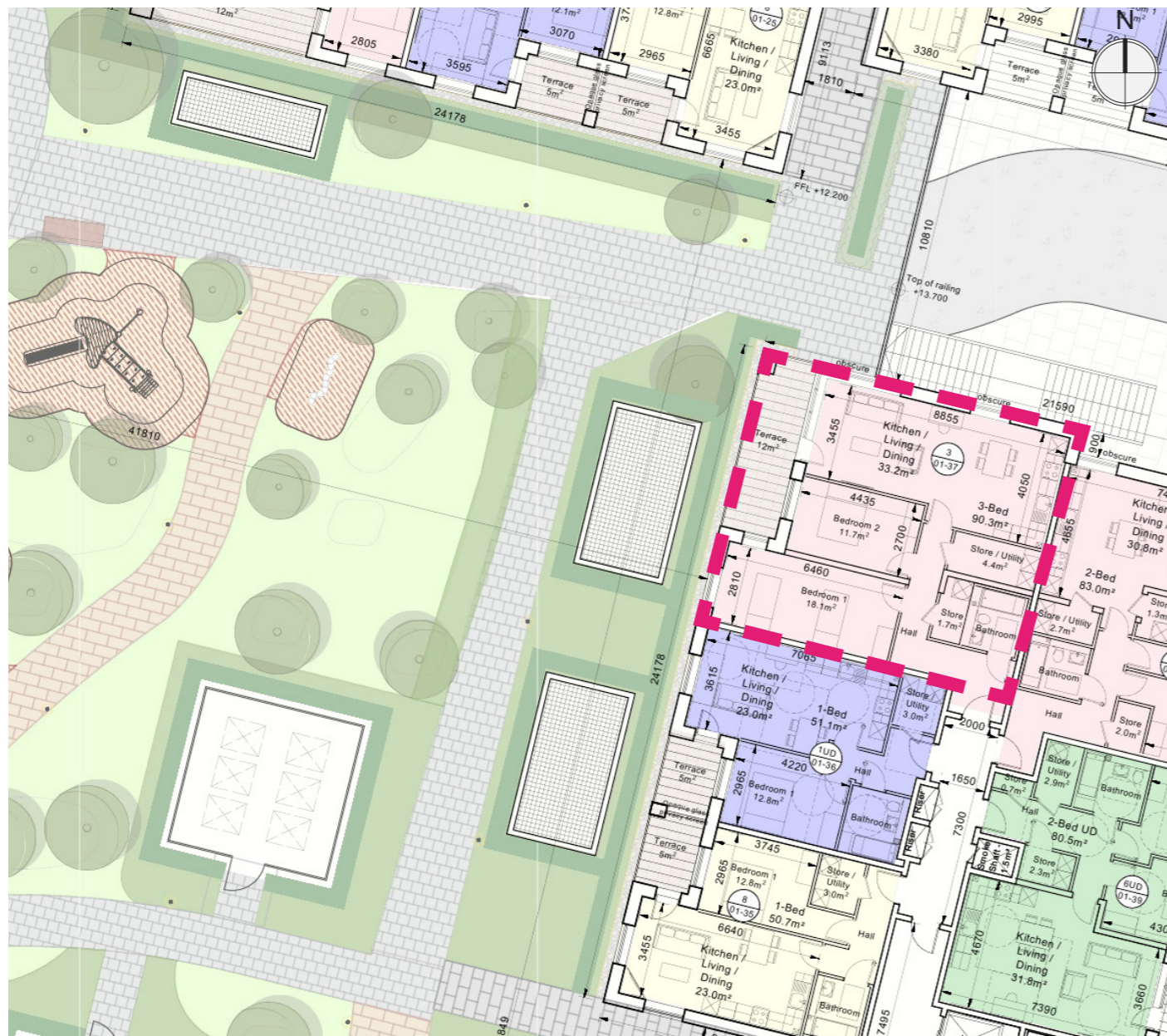


Figure A.48 - Block 6 First Floor Key Plan with Unit 06-01-37 highlighted

Corner apartment, predominantly west facing to the courtyard garden with additional north facing window to the deep plan



Figure A.49 - Block 6 First Floor Key Plan



Figure A.50 - 3D view of Block 6 podium courtyard with facade of Units 06-01-37 , 06-02-37, 06-03-37, 06-04-35, 06-05-22, 06-06-07

Block 6 - Units 06-00-15, 06-01-38, 06-02-38, 06-03-38, 6-04-36, 06-05-23, 06-06-08

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
C	1	38	Corner apartment, predominantly east facing to Lake Street with additional north facing windows to the deep plan area of the living room.	6-00-15, 6-02-38, 6-03-38, 6-04-36, 6-05-23, 6-06-08

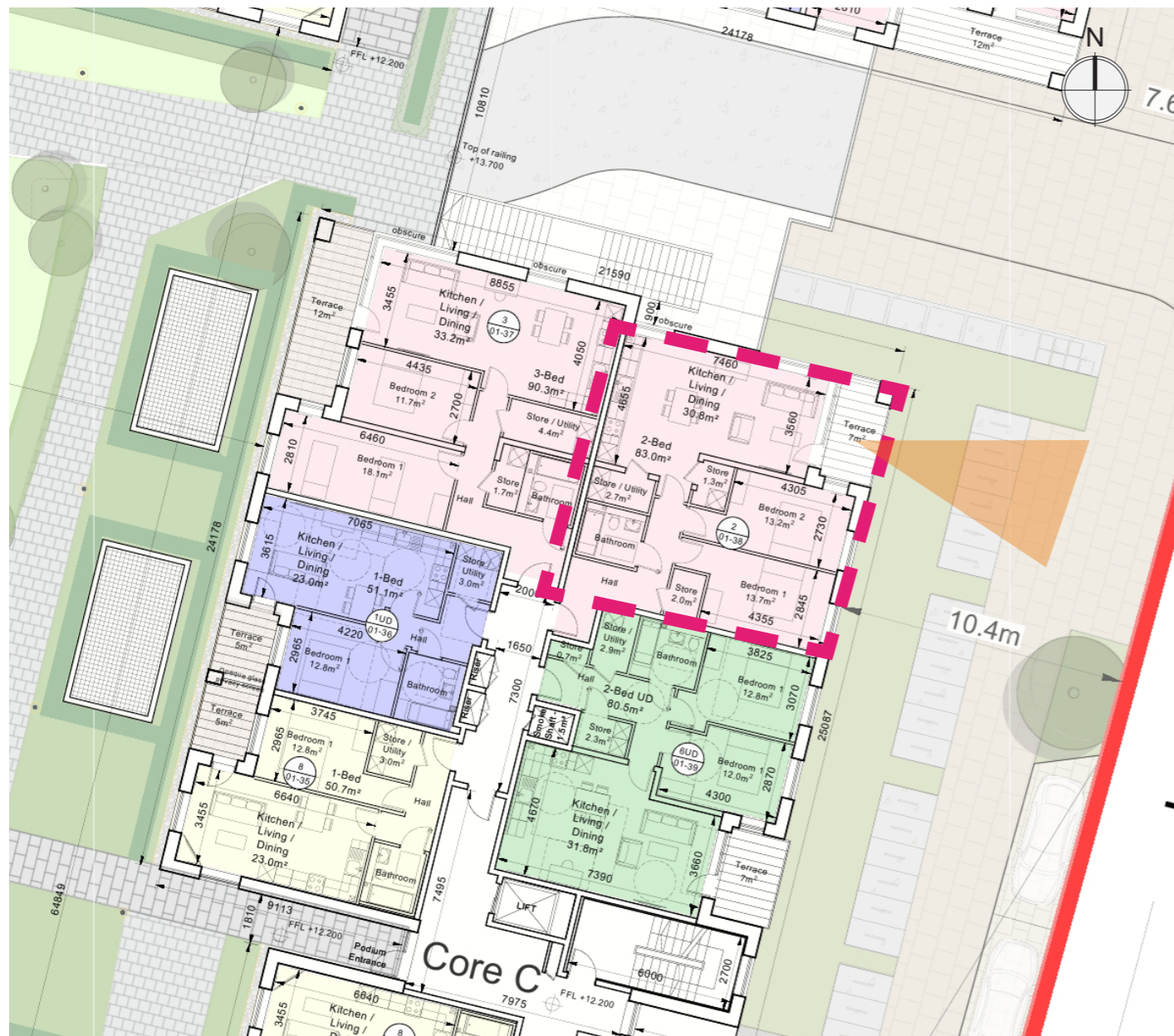


Figure A.51 - Block 6 First Floor Key Plan with 06-01-38, highlighted



Figure A.52 - Block 6 First Floor Key Plan

Corner apartment, predominantly east facing to Lake Street with additional north facing windows to the deep plan area of the living room.



Figure A.53 - 3D verified view along Lake Street. Showing Blocks 6 facade of Units 006-00-15, 06-01-38, 06-02-38, 06-03-38, 6-04-36, 06-05-23, 06-06-08.

Block 6 - Units 06-01-40, 06-02-40, 06-03-40, 06-04-38, 06-05-25, 06-06-10

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
D	1	40	The Living room has 2 windows, 1 north to the garden and 1 west. The distance from the westerly windows to the opposing face exceeds Dev Plan diagram. It has 64.8m long view of the garden courtyard. The apartment area is 50.5sqm, 12% above minimum.	6-02-40, 6-03-40, 6-04-38, 6-05-25, 6-06-10



Figure A.54 - Block 6 First Floor Key Plan with Unit 06-01-40 highlighted

Corner apartment, predominantly west facing to the courtyard garden with additional north facing window to the deep plan area of the living room.



Figure A.55 - Block 6 First Floor Key Plan



Figure A.56 - 3D view of Block 6 podium courtyard with facade of Units 06-01-40, 06-02-40, 06-03-40, 06-04-38, 06-05-25, 06-06-10

Block 6 - Units 06-01-41, 06-02-41, 06-03-41, 06-04-39, 06-05-26, 06-06-11

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
D	1	41	Corner apartment. Living room has 3 windows, 1 north to the balcony, and 2 east. The westerly aspect directly overlooks Grant Park. The bedroom have a 64.8m long view north to the garden courtyard. The apartment area is 82 sqm, 12% above minimum.	6-02-41, 6-03-41, 6-04-39, 6-05-26, 6-06-11



Figure A.57 - Block 6 First Floor Key Plan with Unit 06-01-41 highlighted



Figure A.58 - Block 6 First Floor Key Plan

Corner apartment, predominantly west facing to the courtyard garden with additional north facing window to the deep plan area of the living room.

The bedroom have a 64.8m long view north to the garden courtyard.



Figure A.59 - 3D view of Block 6 podium courtyard with facade of Units 06-01-41, 06-02-41, 06-03-41, 06-04-39, 06-05-26, 06-06-11

Block 6 - Units 06-01-48, 06-02-48, 06-03-48, 06-04-46, 06-05-33, 06-06-17

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
D	1	48	Corner apartment, predominantly north facing to the garden with additional west facing window to the deep plan area of the living room. It has 54.3m long view of the garden courtyard. The apartment area is 84.9sqm, 16% above minimum.	6-02-48, 6-03-48, 6-04-46, 6-05-33, 6-06-17

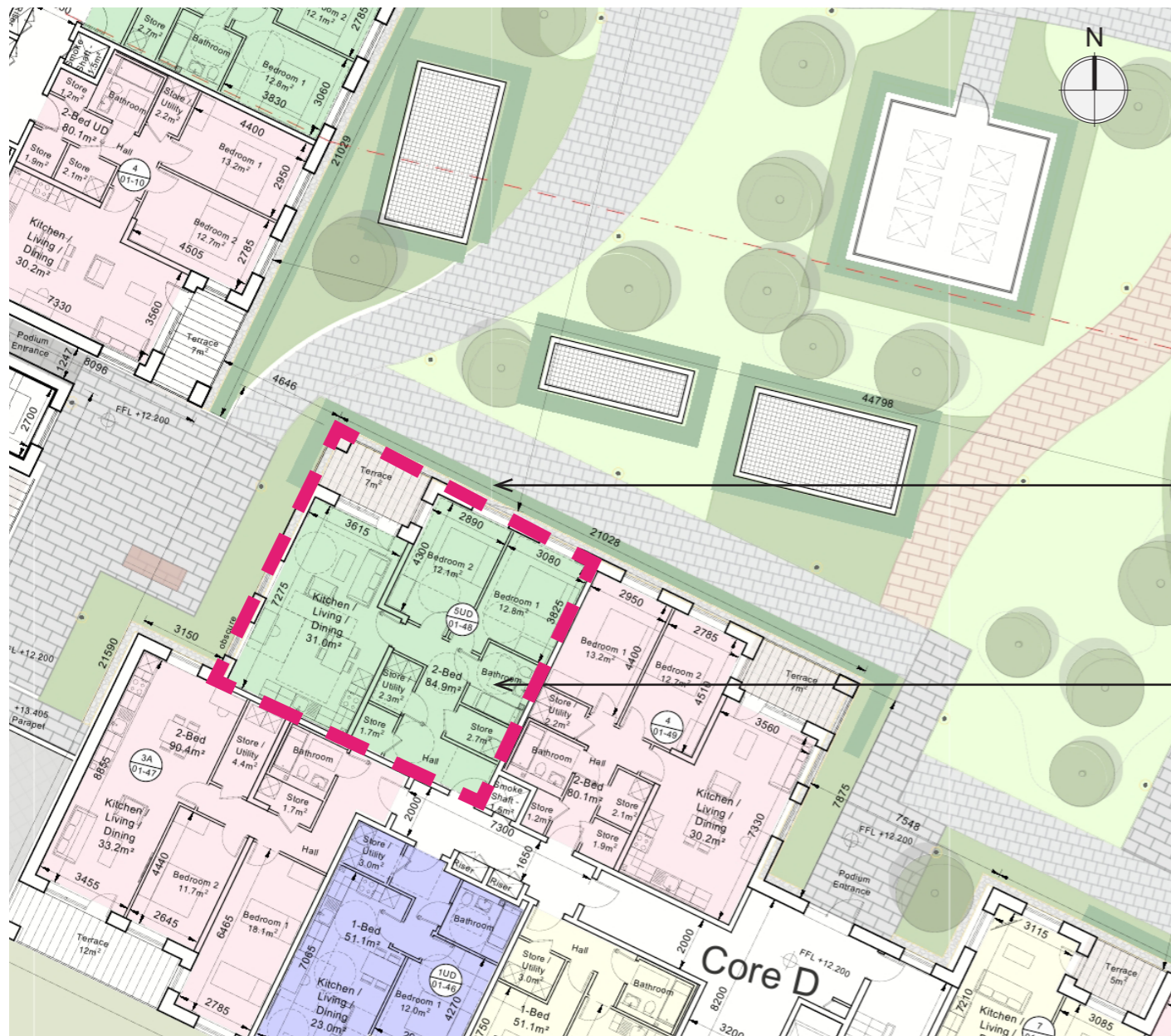


Figure A.60 - Block 6 First Floor Key Plan with 06-01-48, highlighted

Corner apartment, predominantly north facing to the garden with additional west facing window to the deep plan area of the living room. It has 54.3m long view of the garden courtyard.

Apartment area is 16% over minimum



Figure A.61 - Block 6 First Floor Key Plan



Figure A.62 - 3D view of Block 6 podium courtyard with facade of Units 06-01-48, 06-02-48, 06-03-48, 06-04-46, 06-05-33, 06-06-17

Block 6 - Units 06-01-49 , 06-02-49, 06-03-49, 06-04-47, 06-05-34, 06-06-18

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
D	1	49	Corner apartment, predominantly north facing to the garden with additional east facing windows to the deep plan area of the living room. It has 54.3m long view of the garden courtyard. An east window views out of the site out to Grant Park. The apartment is 84.9sqm, 16% above minimum.	6-02-49, 6-03-49, 6-04-47, 6-05-34, 6-06-18

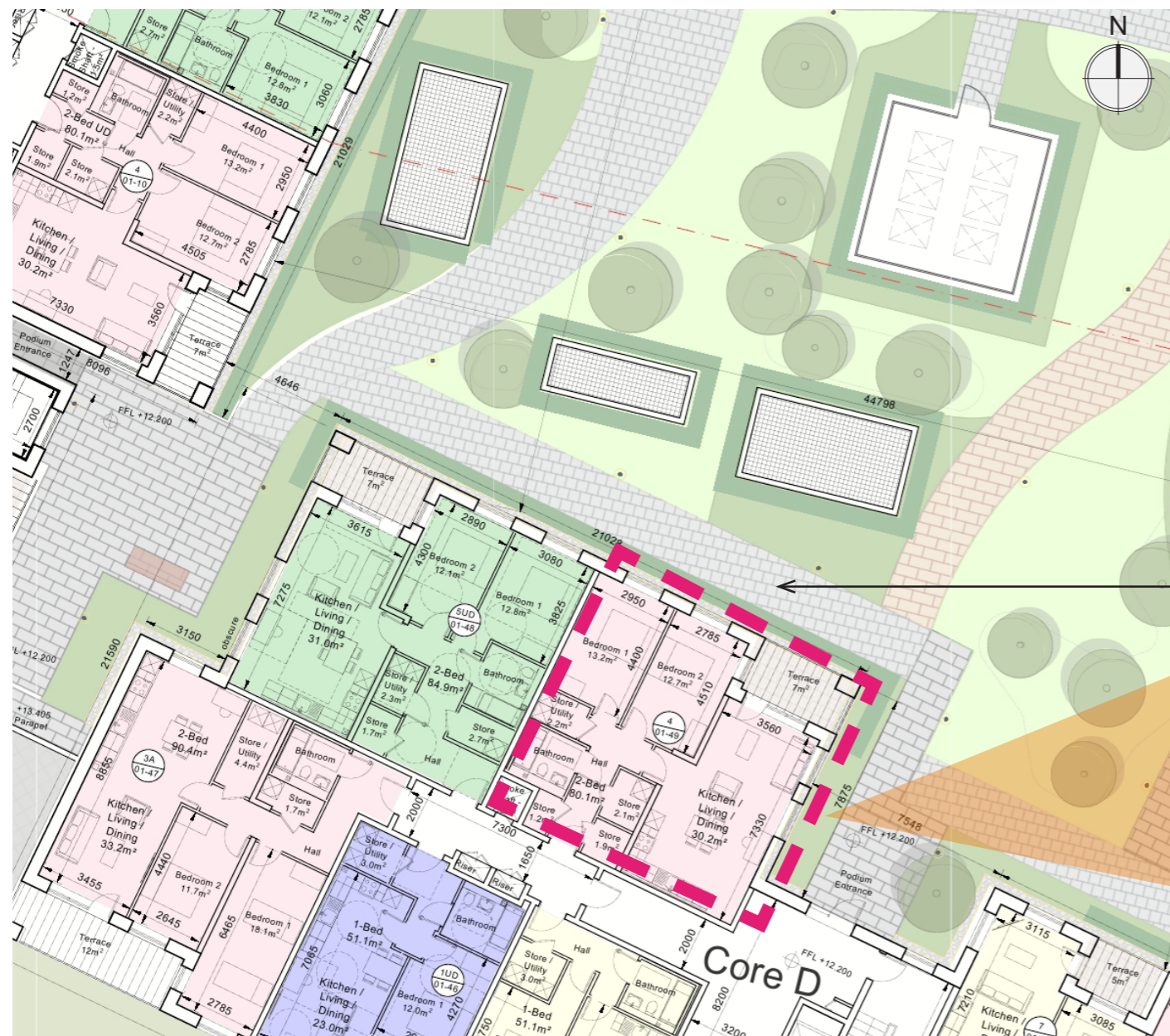


Figure A.63- Block 6 First Floor Key Plan with Unit 06-01-49 highlighted

It has 54.3m long view of the garden courtyard. An east window views out of the site out to Grant Park.



Figure A.64 - Block 6 First Floor Key Plan



Figure A.65- 3D view of Block 6 podium courtyard with facade of Units 06-01-49 , 06-02-49, 06-03-49, 06-04-47, 06-05-34, 06-06-18

Block 6 - Units 06-00-07, 06-01-08, 06-02-08, 06-03-08, 06-04-08

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
E	1	8	Corner apartment. Living room has 3 windows, 2 north and 1 west to oversized balcony with west aspect. Kitchen/Living room area is 33.2sqm, 10% over minimum. Oblique view from north facing windows to landscaped podium to the east. The apartment area is 90sqm, 23% above minimum.	6-00-07, 6-02-08, 6-03-08, 6-04-08



Figure A.66 - Block 6 First Floor Key Plan with 06-01-08, highlighted

Apartment area is 23% over minimum

Corner apartment. Living room has 3 windows, 2 north and 1 west to oversized balcony with west aspect.



Figure A.67 - Block 6 First Floor Key Plan



Figure A.68 - 3D verified view of Block 6 along Lake Street with facade of Units 06-00-07, 06-01-08, 06-02-08, 06-03-08, 06-04-08

Block 6 - Units 06-01-09, 06-02-09, 06-03-09, 06-04-09, 06-05-04

Core	Floor	Apt. No.	Compensatory aspects	Equivalent Unit Number on other floor levels
E	1	9	Corner apartment. Living room has 3 windows, 2 north and 1 east to balcony with east aspect. The easterly aspect overlooks the landscaped podium courtyard. The apartment area is 84.9sqm, 16% above minimum.	6-02-09, 6-03-09, 6-04-09, 6-05-04



Figure A.69- Block 6 First Floor Key Plan with Unit 06-01-09 highlighted

Apartment area is 16% over minimum

Corner apartment. Living room has 3 windows, 2 north and 1 east to balcony with east aspect. The easterly aspect overlooks the landscaped podium courtyard.



Figure A.70- Block 6 First Floor Key Plan



Figure A.71- 3D verified view of Block 6 along Belltree Avenue with facade of Unit 06-04-16,

Block 6 - Penthouse Unit 06-04-16,

Core	Floor	Apt. No.	Compensatory aspects
A	4	16	Penthouse level corner apartment. Living room has 2 windows and a glazed door, 1 north window, 1 north glazed door to terrace and 1 east window. The distance from the easterly windows to the opposing face at 13.2m exceeds the Dev Plan diagram. The apartment area is 59.5sqm, 32% above minimum. Private terrace at 4th floor penthouse level allows views to north, east and west.

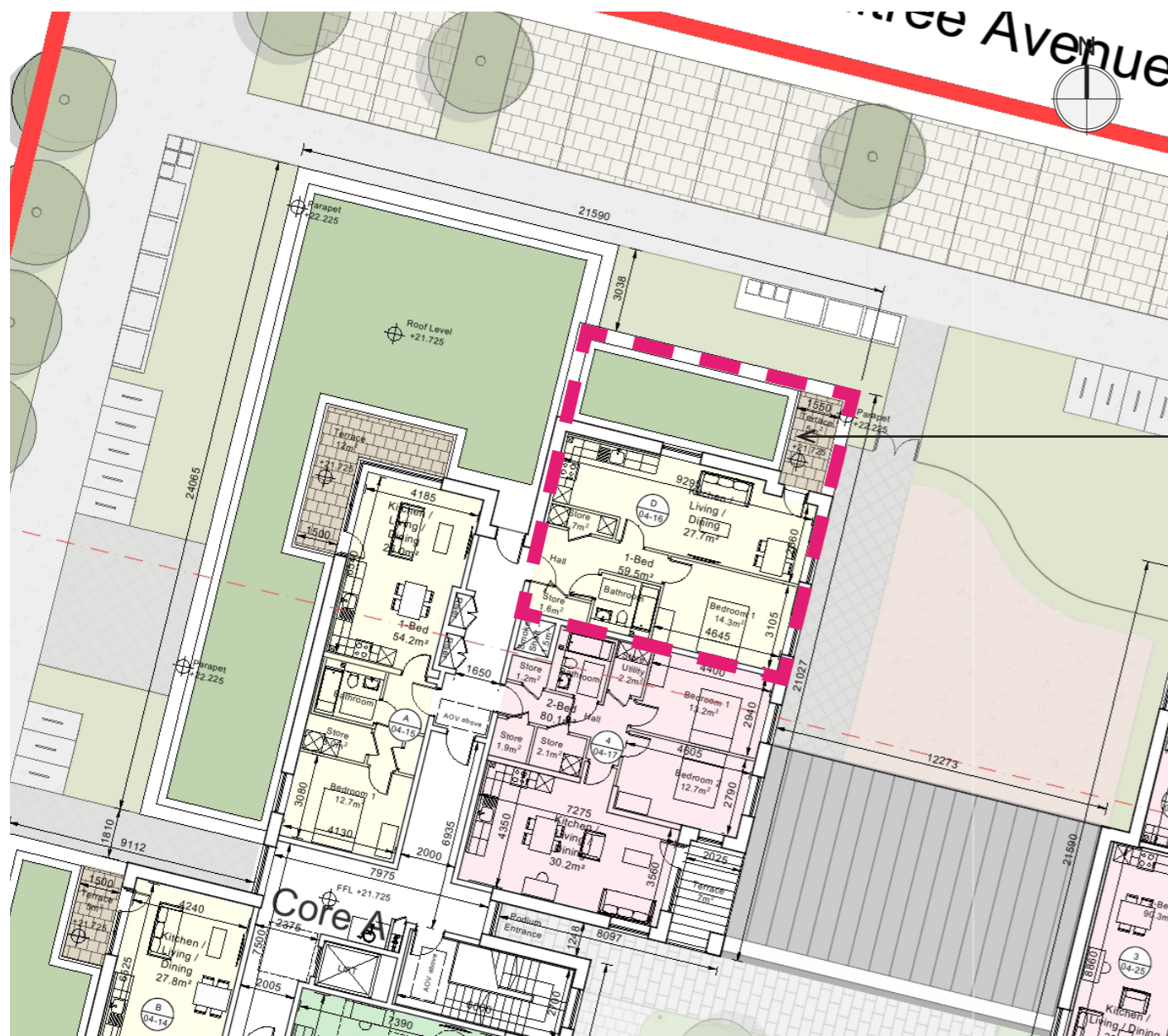


Figure A.72 - Block 6 Fourth Floor Key Plan with 06-04-16, highlighted



Figure A.73 - Block 6 First Floor Key Plan

Private terrace at 4th floor penthouse level allows views to north, east and west.

Penthouse level corner apartment. Living room has 2 windows and a glazed door, 1 north window, 1 north glazed door to terrace and 1 east window. The distance from the easterly windows to the opposing face at 13.2m

The distance from the easterly windows to the opposing face at 13.2m exceeds



Figure A.74 - 3D verified view of Block 6 along Belltree Avenue with facade of Unit 06-04-16,

Block 6 - Penthouse Unit 06-05-06,

Core	Floor	Apt. No.	Compensatory aspects
B	5	6	Penthouse level corner apartment. Living room has 2 windows, 1 north window to terrace and 1 west facing window. West-facing living room window has unobstructed view to west over 4 storey block adjacent. Private terrace at 5th floor penthouse level allows views to north and west. The apartment area is 55sqm, 22% above minimum.

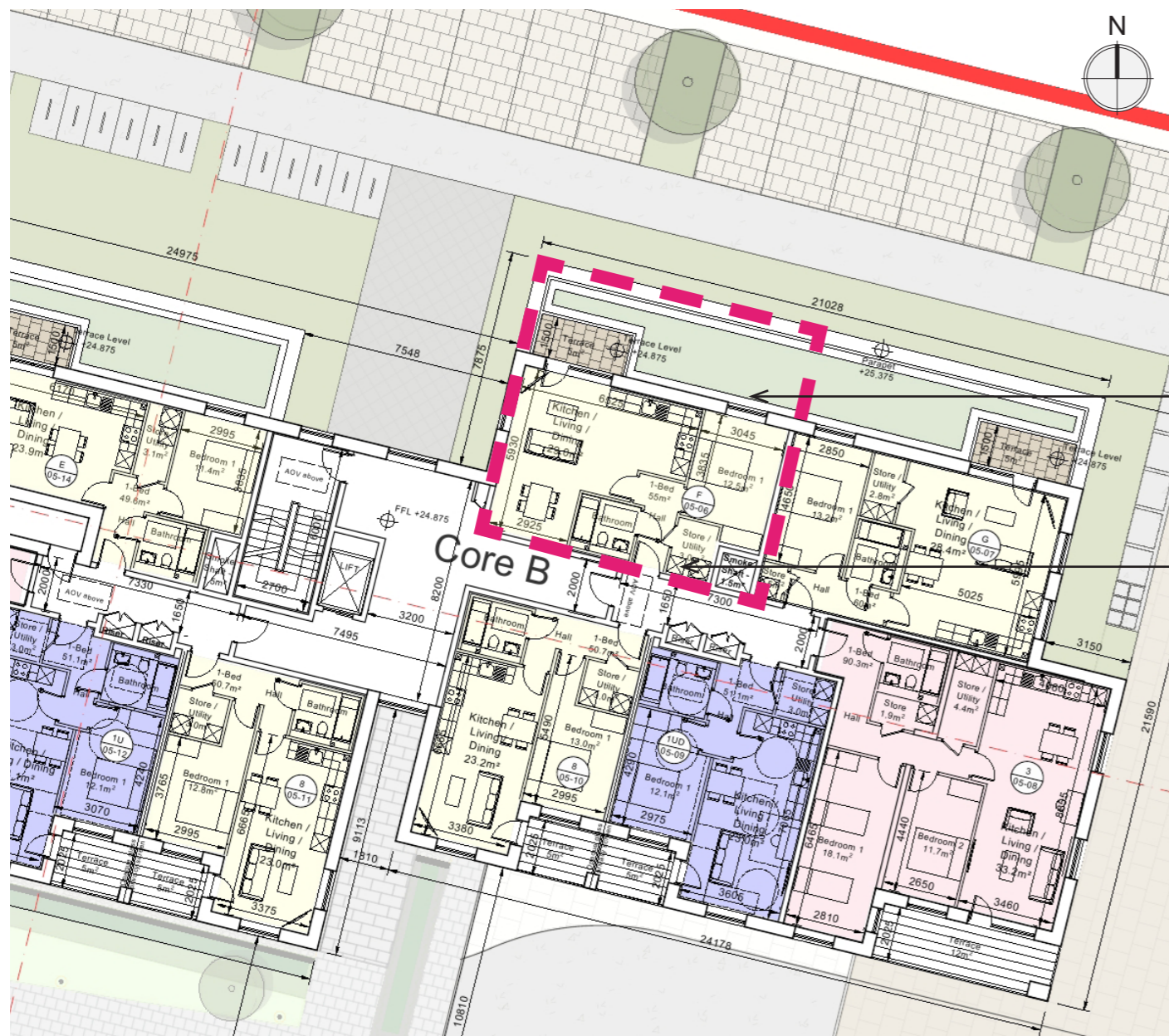


Figure A.75- Block 6 Fifth Floor Key Plan with Unit 06-05-06 highlighted

Penthouse level corner apartment. Living room has 2 windows, 1 north window to terrace and 1 west facing window. West-facing living room window has unobstructed view to west.

Apartment area is 22% over minimum



Figure A.76 - Block 6 First Floor Key Plan



Figure A.77- 3D view of Block 6 along Belltree Avenue facade of Unit 06-05-06,

Block 6 - Penthouse Unit 06-05-07

Core	Floor	Apt. No.	Compensatory aspects
B	5	7	Penthouse level corner apartment. Living room has 3 windows, 1 north window to terrace and 2 east facing windows. Private terrace at 5th floor penthouse level allows views to north and east. The apartment area is 60sqm, 33% above minimum.

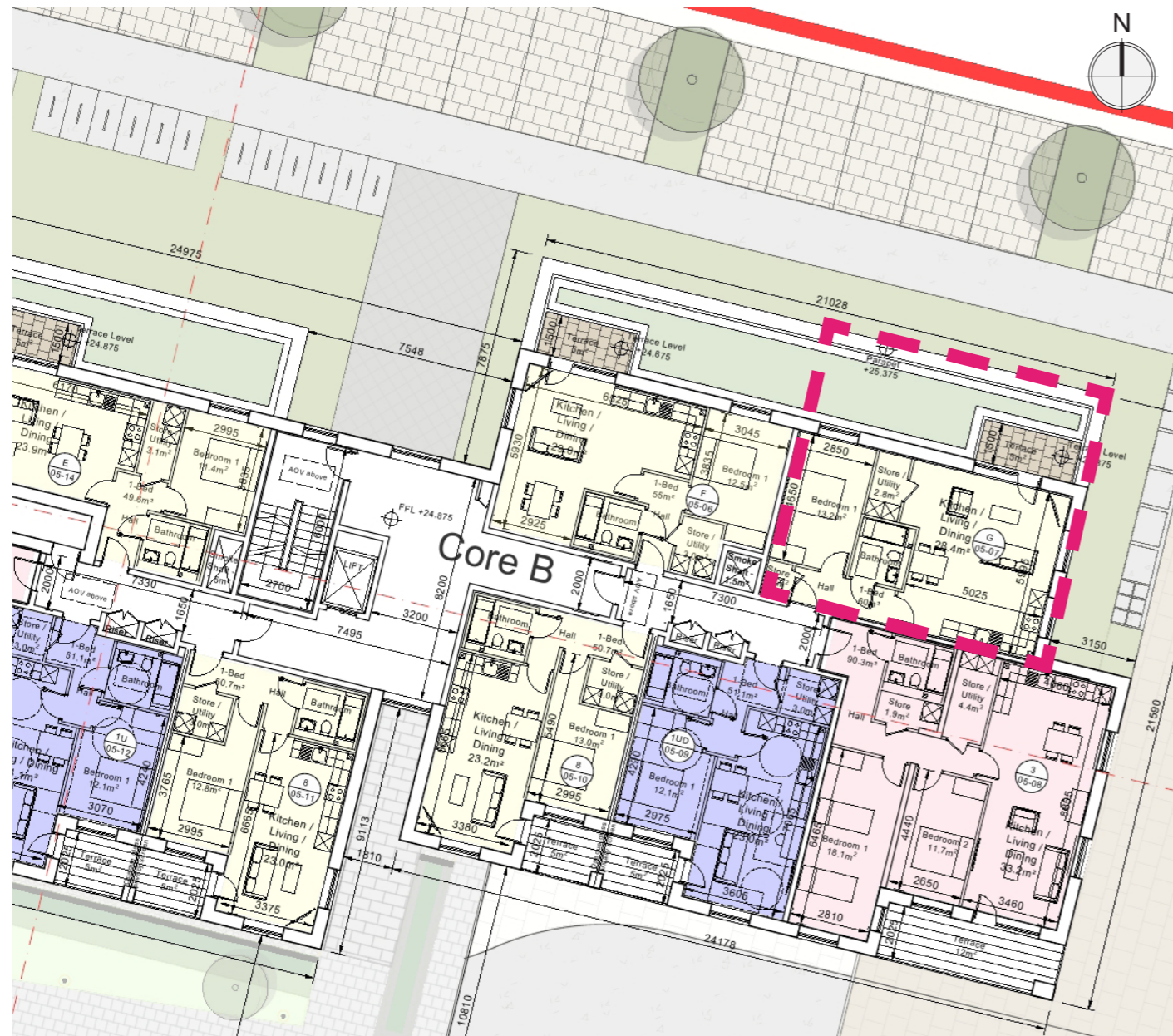


Figure A.78 - Block 6 Fifth Floor Key Plan with Unit 06-05-07 highlighted



Figure A.79 - Block 6 First Floor Key Plan

Penthouse level corner apartment. Living room has 3 windows, 1 north window to terrace and 2 east facing windows. Private terrace at 5th floor penthouse level allows views to north and east.



Figure A.80 - 3D verified view of Block 6 along Belltree Avenue facade of Unit 06-05-07,

Block 6 - Penthouse Unit 06-05-14,

Core	Floor	Apt. No.	Compensatory aspects
B	5	14	Penthouse level corner apartment. Living room has 2 windows, 1 north window to terrace and 1 west facing window. West-facing living room window has unobstructed view to west over 4 storey block adjacent. Private terrace at 5th floor penthouse level allows views to north and west.

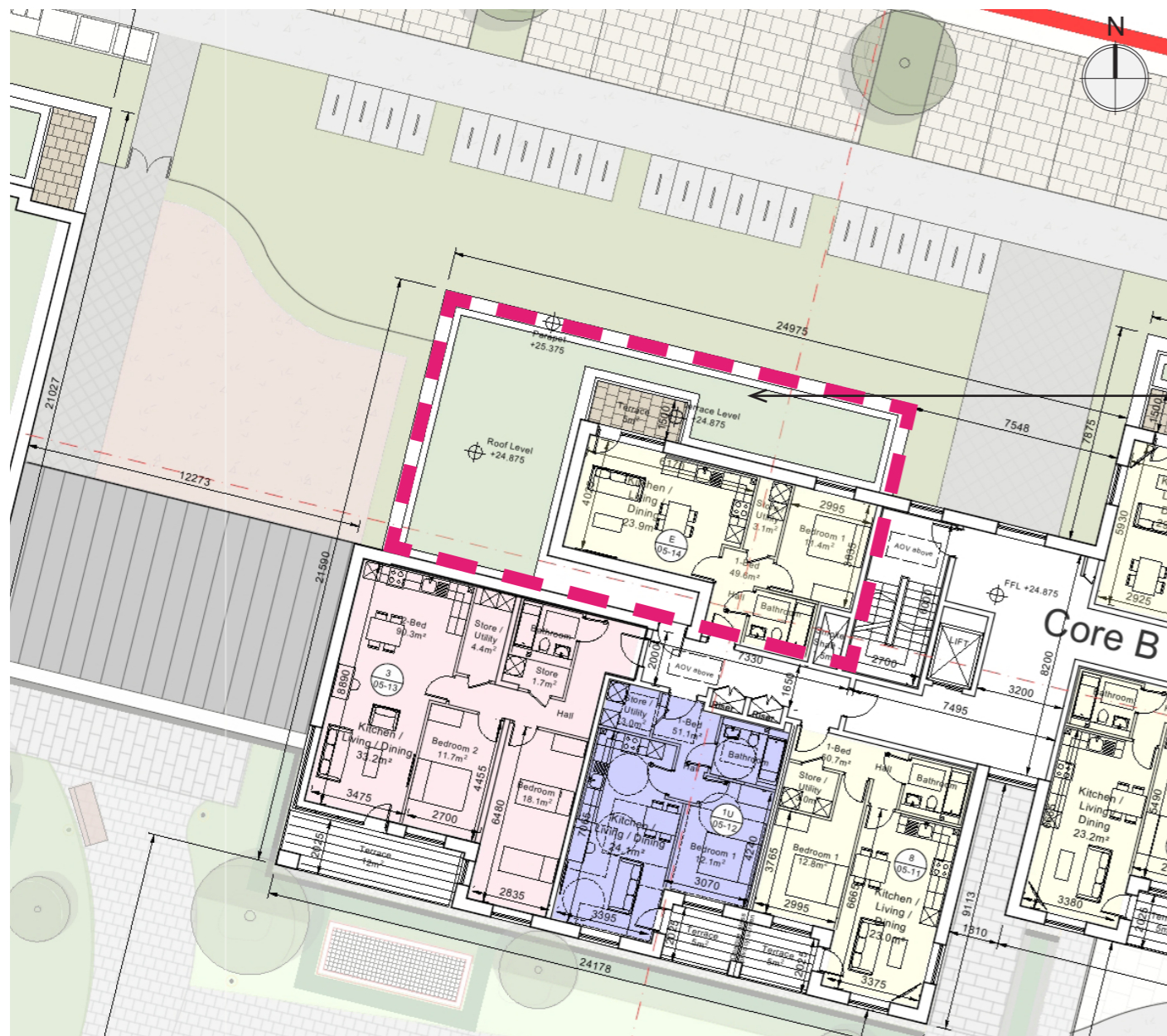


Figure A.81- Block 6 Fifth Floor Key Plan with Unit 06-05-14 highlighted

Penthouse level corner apartment. Living room has 2 windows, 1 north window to terrace and 1 west facing window. West-facing living room window has unobstructed view to west.



Figure A.82 - Block 6 First Floor Key Plan



Figure A.83- 3D verified view of Block 6 along Belltree Avenue facade of Unit 06-05-14,